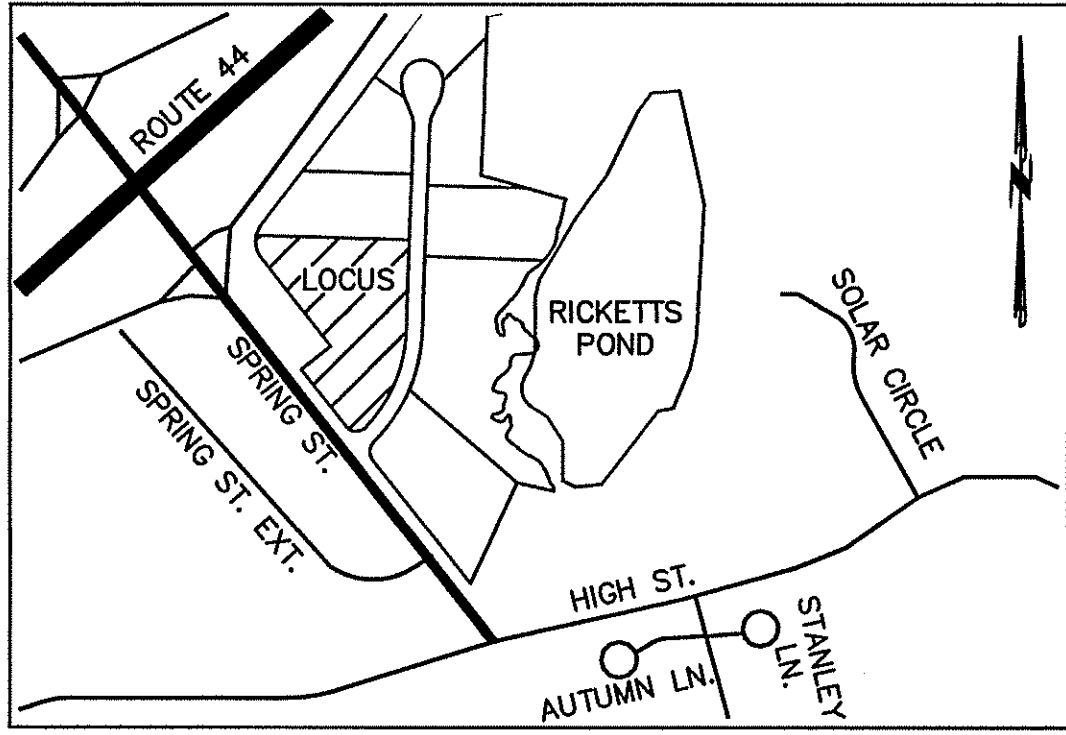
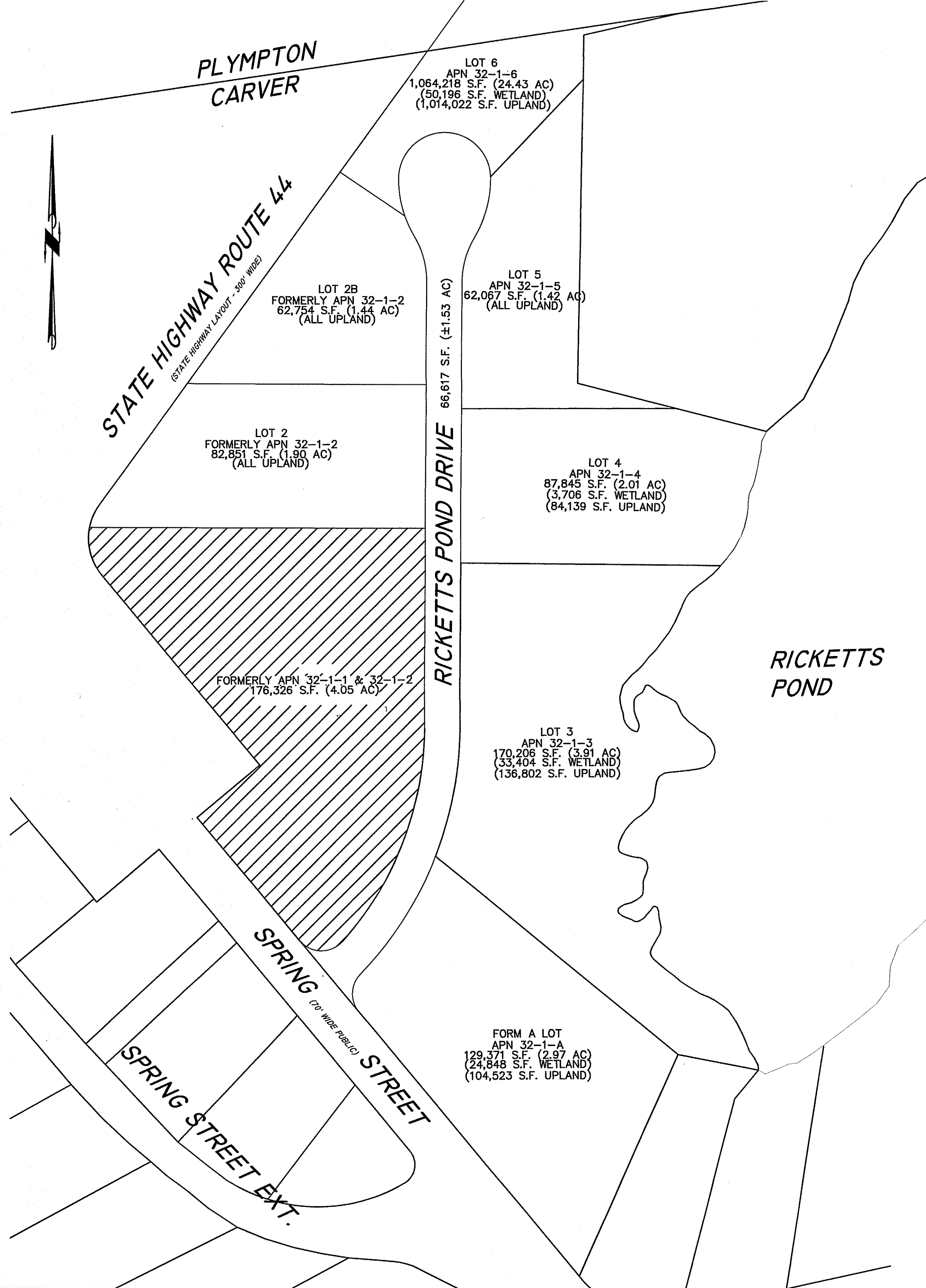


SITE DEVELOPMENT PLANS - LOT 1 RICKETTS POND BUSINESS PARK IN CARVER, MASSACHUSETTS



Drawing Index:

No.	Drawing Title
C-1	COVER SHEET
G-1	LEGEND, ABBREVIATIONS & GENERAL NOTES
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C-2	SITE LAYOUT PLAN
C-3	GRADING & DRAINAGE PLAN
C-4	UTILITY PLAN
D-1 - D-3	CONSTRUCTION DETAILS
ESC-1	EROSION AND SEDIMENTATION PLAN
LA-1	LANDSCAPING PLAN
EVA-1	EMERGENCY VEHICLE ACCESS PLAN
A-1	EXTERIOR BUILDING ELEVATIONS



© MCKENZIE ENGINEERING GROUP, INC.

REV	DATE	DESCRIPTION	BY	APP
1	6/6/2022	CONSULTANT REVIEW	AWL	BCM

MCKENZIE
ENGINEERING GROUP
Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
P: 781.792.3900
F: 781.792.0333
www.mckeng.com

**SITE DEVELOPMENT PLANS
RICKETTS POND BUSINESS PARK,
LOT 1
OFF SPRING STREET
CARVER, MASSACHUSETTS**

PROFESSIONAL ENGINEER:

BRADLEY C. MCKENZIE
CIVIL
No. 26917
REGISTERED
PROFESSIONAL ENGINEER

APPLICANT:
**AMERICAN ELECTRICAL
CONSTRUCTION, INC.**
180 SOUTH MEADOW ROAD
PLYMOUTH, MA 02360

DRAWN BY:	AWL
DESIGNED BY:	AWL
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	FEBRUARY 28, 2022
SCALE:	AS NOTED
PROJECT NO.:	221-168
DWG. TITLE:	COVER SHEET

DWG. NO:
C-1

Applicant:
AMERICAN ELECTRICAL
CONSTRUCTION, INC.
180 SOUTH MEADOW ROAD
PLYMOUTH, MA 02360

Owner
RPBP, LLC
3 MARION DRIVE
CARVER, MA 02330

Engineer/Surveyor:
MCKENZIE ENGINEERING GROUP, INC.
150 LONGWATER DRIVE
SUITE 101
NORWELL, MA 02061

PERMIT PLAN SET

ABBREVIATIONS

ABAN	ABANDONED
ACP	ASBESTOS CEMENT PIPE
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
ASPH	ASPHALT
ACOMP	ASPHALT COATED CORRUGATED METAL PIPE
B	BOLLARD
BD	BOUND
BLDG	BUILDING
BIT CONC	BITUMINOUS CONCRETE
BM	BENCHMARK
BS	BOTTOM OF SLOPE
CAP	CORRUGATED ALUMINUM PIPE
CB	CATCH BASIN
C&C	CUT AND CAPPED
CB/DP	CONC. BOUND/DRILL HOLE
CB/EP	CB/ESOUTCHEON
CCB	CARP COD BERM
CIP	CAST IRON PIPE
CIT	CHANGE IN TYPE
C	CENTERLINE
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC	CONCRETE
COND	CONDUIT
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
CS	COMBINED SEWER
CSMH	COMBINED SEWER MANHOLE
CULV	CULVERT
Δ	DELTA ANGLE
D	DRAIN
DCB	DOUBLE CATCH BASIN
DIP	DUCTILE IRON PIPE
DMH	DRAIN MANHOLE
E	ELECTRIC
ECC	EXTRUDED CONCRETE CURB
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
E/T/C	ELECTRIC, TELEPHONE, & CABLE TV
EW	END WALL
EXIST	EXISTING
FAB	FIRE ALARM BOX
FES	FLARED END SECTION
FND	FOUND
FND	FOUNDATION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
G	GAS
GD	GROUND
GG	GAS GATE
GIP	GALVANIZED IRON PIPE
GP	GUARD POST
GS	GAS SERVICE
GR	GRANITE
GRAN.	HIGH-DENSITY POLYETHYLENE PIPE
HDPE	HANDHOLE
HH	HORIZONTAL
HP	HIGH PRESSURE
HWL	HEADWALL
HYD	HYDRANT
INV	INVERT
I.P.	IRON PIN
I.R.	IRON ROD
L	LEAD
LSA	LANDSCAPED AREA
LP	LIGHT POLE
MAX	MAXIMUM
MC	METAL COVER
MCC	MONOLITHIC CONCRETE CURB
MH	MANHOLE
MHB	MASS. HIGHWAY BOUND
MIN	MINIMUM
MLP	METAL LIGHT POLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PB	PULL BOX
PE	POLYETHYLENE PIPE
P	PROPERTY LINE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
PVMT	PAVEMENT
PWW	PAVED WATER WAY
RCP	REINFORCED CONCRETE PIPE
REM	REMOVE
REMOD	REMODEL
RET	RETAIN
ROW	RIGHT OF WAY
RR	RAILROAD
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
S	SEWER
SB	STONE BOUND
SB/DP	STONE BOUND/DRILL HOLE
SCE	SLOPED GRANITE EDGING
SMH	SEWER MANHOLE
STA	STATION
SS	SEWER SERVICE
STL	STEEL
SW	SIDEWALK
T	TELEPHONE
TCB	TRAFFIC CONTROL BOX
TL	TRAFFIC LIGHT
TMH	TELEPHONE MANHOLE
TR	TREE
TRANS	TRANSFORMER
TS	TOP OF SLOPE
TSV	TAPPING SLEEVE, VALVE AND BOX
TYP	TYPICAL
UP	UTILITY POLE
VCP	VERTIFIED CLAY PIPE
VERT	VERTICAL
VGC	VERTICAL GRANITE CURB
W	WATER MAIN
WG	WATER GATE

LEGEND

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Description

SPOT ELEVATIONS

TOP & BOTTOM ELEVATIONS

SPOT ELEVATIONS WITH LEADER

HYDRANT

WATER GATE VALVE

WELL

GAS GATE

ELECTRIC HANDHOLE

LIGHT POLE

UTILITY POLE

GUY POLE

GUY ANCHOR

DRAIN MANHOLE

SEWER MANHOLE

CATCH BASIN

DOUBLE CATCH BASIN

TEST PIT

BORING

SIGN SINGLE POST

GRANITE OR CONCRETE BOUND

WETLAND FLAG

EXISTING BUILDING

PROPOSED BUILDING

MAJOR CONTOUR

MINOR CONTOUR

CHAINLINK FENCE

CABLE TV LINE

ELECTRIC, TELEPHONE, CABLE TV DUCTBANK

UNDERGROUND ELECTRIC

OVERHEAD ELECTRIC

NATURAL GAS LINE

SANITARY SEWER MAIN

DRAIN PIPE

TELEPHONE LINE

WATER MAIN

FIRE PROTECTION LINE

RETAINING WALL

TREELINE

HAYBALE & SILT FENCE

LIMIT BORDERING VEGETATED WETLAND RESOURCE(1)

100' WETLAND BUFFER ZONE

GENERAL NOTES

CARVER: FORMERLY ASSESSOR'S MAP 32 PORTION OF LOTS 1-1 & 1-2

LOCUS OWNER:

RPBP, LLC

3 MARION DRIVE

CARVER, MASSACHUSETTS 02330

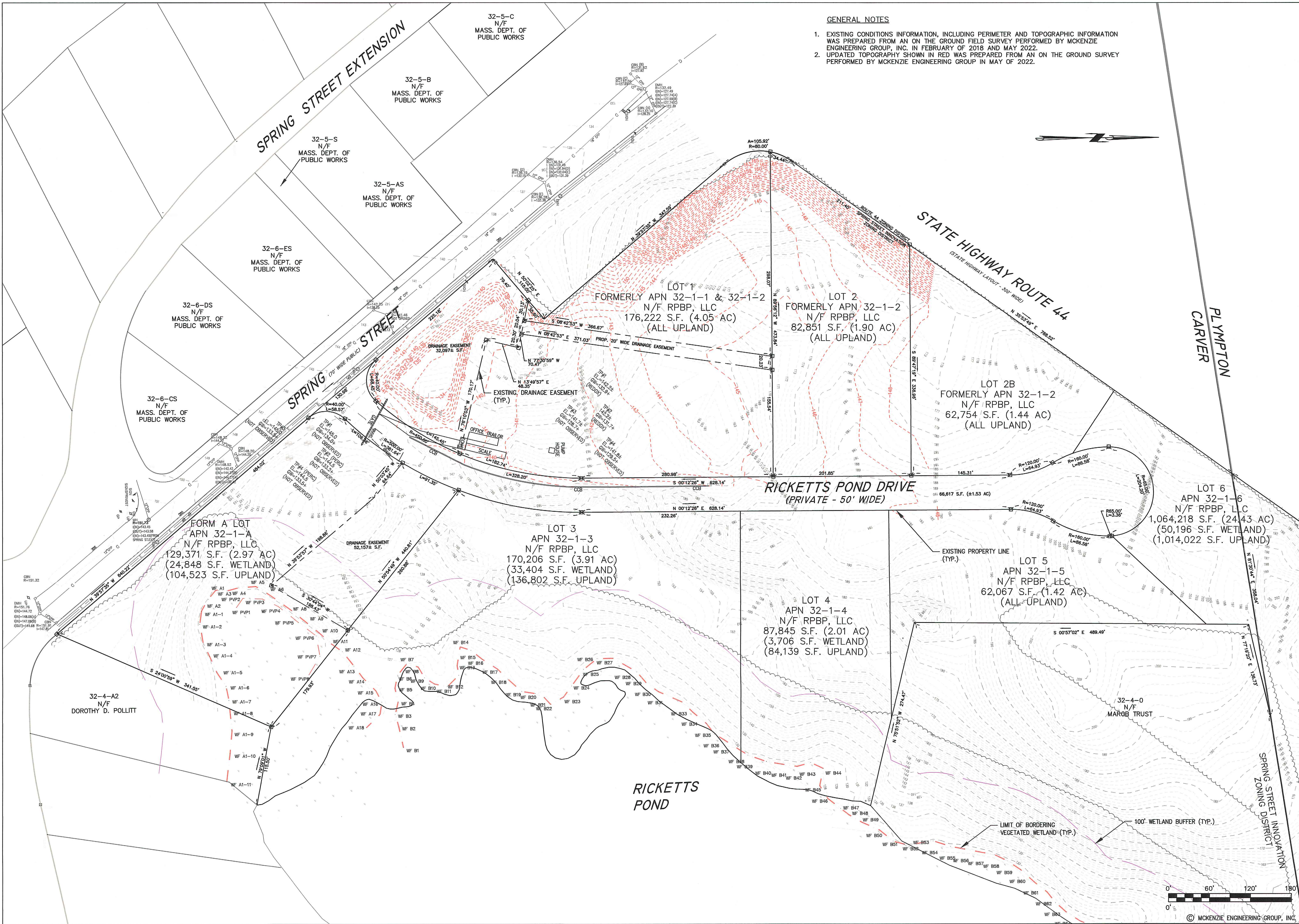
- DEED BOOK REFERENCE: PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 50438, PAGE 270 BOOK 51637, PAGE 211 PLAN BOOK 63, PAGE 848
- LOCUS IS FORMERLY SHOWN ON THE TOWN OF CARVER'S ASSESSOR'S MAP 32 AS PORTION OF PARCELS 1-1 & 1-2 TOTAL AREA = 176,376± S.F. (4.05 AC)
- LOCUS IS LOCATED WITHIN THE TOWN OF CARVER'S WATER RESOURCE PROTECTION DISTRICT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- THE CONTRACTOR SHALL PROVIDE INLET PROTECTION, SUCH AS SILT SACKS, AT ALL CATCH BASINS TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER INFILTRATION BASINS. INLET PROTECTION WILL ALLOW THE STORM DRAIN INLETS TO BE USED BEFORE FINAL STABILIZATION.
- ALL EXISTING CONDITIONS INFORMATION, INCLUDING PERIMETER AND TOPOGRAPHIC INFORMATION WAS PREPARED FROM AN ON THE GROUND FIELD SURVEY PERFORMED BY MCKENZIE ENGINEERING GROUP, INC. IN FEBRUARY OF 2018.
- BORDERING VEGETATED WETLANDS DELINEATED BY ENVIRONMENTAL CONSULTING & RESTORATION, LLC. ON FEBRUARY 6, 2018. DELINEATED BY METHODOLOGY ESTABLISHED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (MASS DEP) REGULATIONS FOUND AT 310 CMR 10.55. AN ORAD APPROVING THE LIMIT OF BORDERING VEGETATED WETLAND WAS ISSUED BY THE TOWN OF CARVER CONSERVATION COMMISSION ON JULY 9, 2018 (DEP FILE NO. SE 126-0566).
- THE PROPERTY SHOWN HEREON IS LOCATED IN THE TOWN OF CARVER SPRING STREET INNOVATION ZONING DISTRICT PER ZONING MAP DATED 2016.
- UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION AND CONSTRUCTION AS THE LAND SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.
- ANY CHANGE IN THE FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER TO ENSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN ARE PROPER AND ADEQUATE TO SERVE THE PROJECT'S NEEDS, AND COMPLY WITH THE APPLICABLE STANDARDS AND REGULATION.
- LOCALS FALLS WITHIN ZONE X AS SHOWN ON F.I.R.M. PANEL NO: 2502300334J DATED JULY 17, 2012.
- ALL ELEVATIONS SHOWN REFER TO NAVD 1988 DATUM.
- NO MUNICIPAL WATER SERVICE IS LOCATED ON SPRING STREET. THE PROPOSED BUILDINGS WILL USE PRIVATE WELLS THAT WILL BE APPROVED AND INSTALLED PER THE TOWN OF CARVER BOARD OF HEALTH REGULATIONS.
- AN ORDER OF RESOURCE AREA DELINEATION WAS ISSUED BY THE TOWN OF CARVER CONSERVATION COMMISSION (DEP FILE NO. SE 126-0566) APPROVING THE BOUNDARY OF THE WETLAND RESOURCES.
- SEE PLANS ENTITLED "DEFINITIVE SUBDIVISION PLANS, RICKETTS POND BUSINESS PARK, SPRING STREET, CARVER, MASSACHUSETTS" PREPARED BY MEG DATED JANUARY 10, 2019 AND REVISED APRIL 2, 2019 FOR EXISTING AND PROPOSED SITE CONDITIONS FOR THE ADJACENT SUBDIVISION.

GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL COORDINATE ALL STREET WORK WITH THE CARVER DPW.
- ALL WATER SERVICES SHALL BE INSTALLED WITH 5' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
- ALL POTABLE WELL WATER SERVICE APPURTENANCES, MATERIALS, METHODS OF INSTALLATION SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
- AFTER PRESSURE TESTING AND CHLORINATION IS COMPLETED, SAMPLES SHALL BE TAKEN FROM THE WATER SERVICE AND SHALL BE TESTED AT 200 PSI FOR A MINIMUM OF 2 HOURS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE CARVER DEPARTMENT OF PUBLIC WORKS AT LEAST 24 HOURS PRIOR TO THE TESTING.
- THE LOCATIONS OF PROPOSED ELECTRIC, TELEPHONE AND COMMUNICATION (E.T.C.) SERVICES ARE APPROXIMATE. THE PROJECT ELECTRICAL ENGINEER SHALL VERIFY THESE LOCATIONS PRIOR TO THE START OF CONSTRUCTION. COORDINATE ALL E.T.C. WORK WITH THE APPROPRIATE UTILITY COMPANIES.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH CARVER DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.

WAIVERS REQUESTED FROM THE TOWN OF CARVER ZONING BY-LAW

EFFECT



GENERAL NOTES

- 1. EXISTING CONDITIONS INFORMATION, INCLUDING PERIMETER AND TOPOGRAPHIC INFORMATION WAS PREPARED FROM AN ON THE GROUND FIELD SURVEY PERFORMED BY MCKENZIE ENGINEERING GROUP, INC. IN FEBRUARY OF 2018 AND MAY 2022.
- 2. UPDATED TOPOGRAPHY SHOWN IN RED WAS PREPARED FROM AN ON THE GROUND SURVEY PERFORMED BY MCKENZIE ENGINEERING GROUP IN MAY OF 2022.



REV	DATE	DESCRIPTION	BY	APP
1	6/6/22	PEER REVIEW	ESS	BCM

MCKENZIE ENGINEERING GROUP
Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
P: 781.792.3900
F: 781.792.0333
www.mckeng.com

**SITE DEVELOPMENT PLANS
RICKETTS POND BUSINESS PARK,
LOT 1
OFF SPRING STREET
CARVER, MASSACHUSETTS**

PROFESSIONAL SURVEYOR:

APPLICANT:
**AMERICAN ELECTRICAL
CONSTRUCTION, INC.**
180 SOUTH MEADOW ROAD
PLYMOUTH, MA 02360

DRAWN BY:	AWL
DESIGNED BY:	AWL
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	FEBRUARY 28, 2022
SCALE:	1"=60'
PROJECT NO.:	221-190

DWG. TITLE:
**EXISTING
CONDITIONS
PLAN**

DWG. NO.:
EX-1

PERMIT PLAN SET

SECTION 2300: DIMENSIONAL REGULATIONS

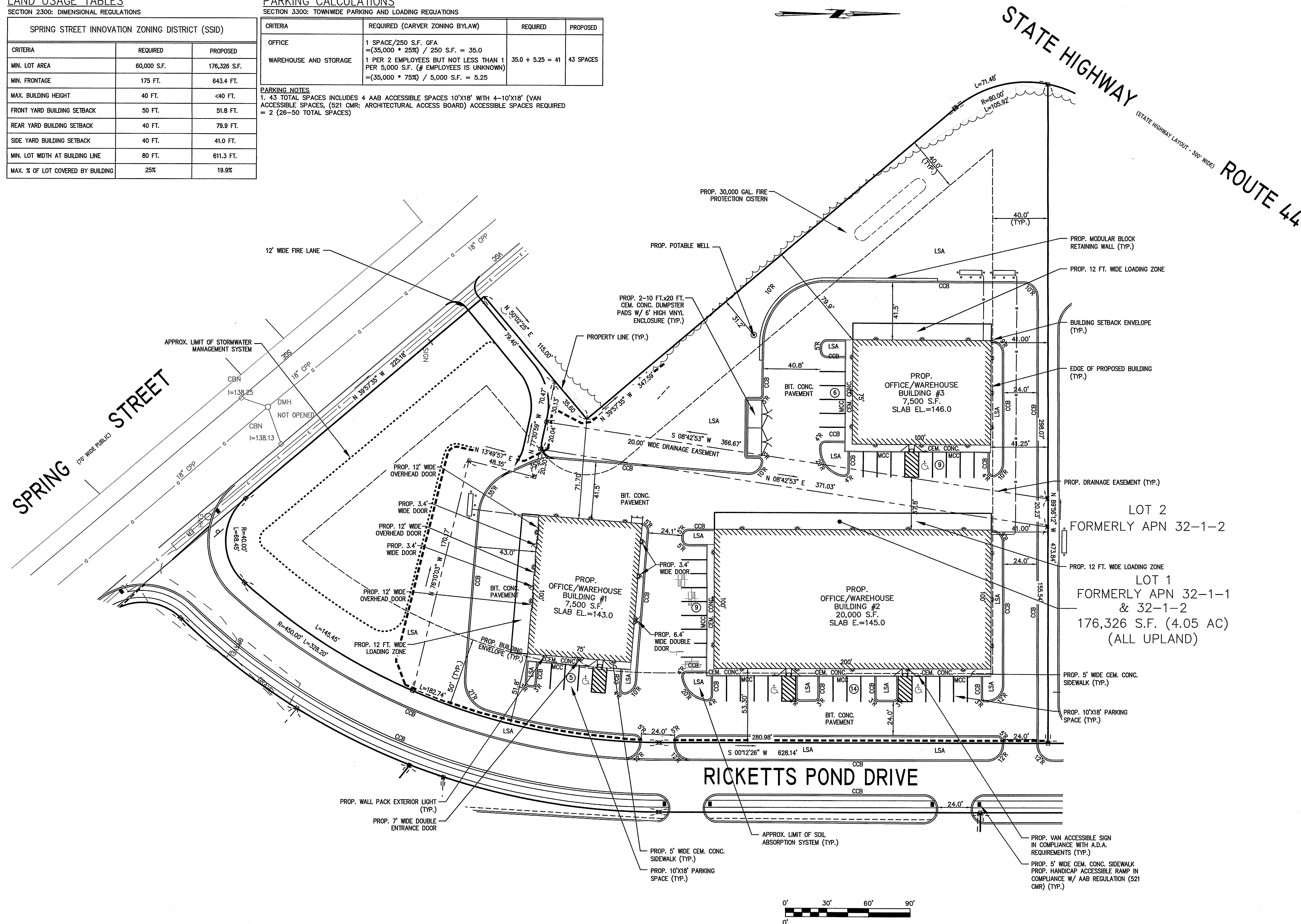
SPRING STREET INNOVATION ZONING DISTRICT (SSID)		
CRITERIA	REQUIRED	PROPOSED
MIN. LOT AREA	60,000 S.F.	176,326 S.F.
MIN. FRONTAGE	175 FT.	643.4 FT.
MAX. BUILDING HEIGHT	40 FT.	<40 FT.
FRONT YARD BUILDING SETBACK	50 FT.	51.8 FT.
REAR YARD BUILDING SETBACK	40 FT.	79.9 FT.
SIDE YARD BUILDING SETBACK	40 FT.	41.0 FT.
MIN. LOT WIDTH AT BUILDING LINE	80 FT.	611.3 FT.
MAX. % OF LOT COVERED BY BUILDING	25%	19.9%

SECTION 3300: TOWNWIDE PARKING AND LOADING REGULATIONS

CRITERIA	REQUIRED (CARVER ZONING BYLAW)	REQUIRED	PROPOSED
OFFICE	1 SPACE/250 S.F. GFA =(35,000 * 25%) / 250 S.F. = 35.0		
WAREHOUSE AND STORAGE	1 PER 2 EMPLOYEES BUT NOT LESS THAN 1 PER 5,000 S.F. (# EMPLOYEES IS UNKNOWN) =(35,000 * 75%) / 5,000 S.F. = 5.25	35.0 + 5.25 = 41	43 SPACES

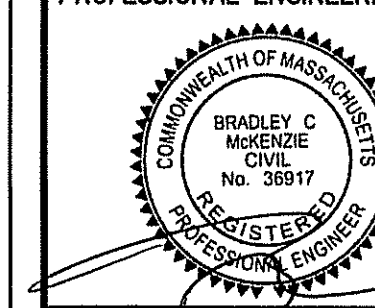
PARKING NOTES

1. 43 TOTAL SPACES INCLUDES 4 AAB ACCESSIBLE SPACES 10'X18' WITH 4-10'X18' (VAN ACCESSIBLE SPACES, (521 CMR: ARCHITECTURAL ACCESS BOARD) ACCESSIBLE SPACES REQUIRED = 2 (26-50 TOTAL SPACES)

[illegible]

**SITE DEVELOPMENT PLANS
RICKETTS POND BUSINESS PARK,
LOT 1
OFF SPRING STREET
CARVER, MASSACHUSETTS**

PROFESSIONAL ENGINEER:



APPLICANT:
AMERICAN ELECTRICAL
CONSTRUCTION, INC.
180 SOUTH MEADOW ROAD
PLYMOUTH, MA 02360

DRAWN BY:	AW
DESIGNED BY:	AW
CHECKED BY:	BCI
APPROVED BY:	BCI
DATE:	FEBRUARY 28, 2021
SCALE:	1"=30'
PROJECT NO.:	221-16

DWG. TITLE:
**SITE LAYOUT
PLAN**

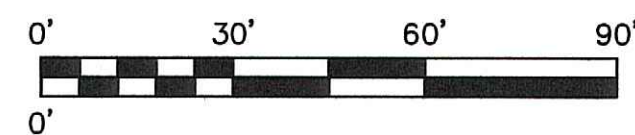
DWG. NO:

C-2

SOIL TESTING AND EVALUATION BY: ALAN LOOMIS, SOIL EVALUATOR #1405
SOIL TESTING WITNESSED BY: KEVIN FORGUE, CARVER BOARD OF HEALTH
DATE: APRIL 6, 2022

WEEPING OBSERVED: N/A
STANDING WATER OBSERVED: N/A
MOTTILING OBSERVED: 112 (EL. 132.9)
PERC. RATE: <2MIN./INCH AT 30" (EL. 139.7)
E.S.H.G.W. = 112" (EL. 132.9)

WEEPING OBSERVED: N/A
STANDING WATER OBSERVED: N/A
MOTTLING OBSERVED: N/A
PERC. RATE: <2MIN./INCH AT 36" (EL. 138.7)
E.S.H.G.W. = SEE TP-1

[illegible]

**SITE DEVELOPMENT PLANS
RICKETTS POND BUSINESS PARK,
LOT 1
OFF SPRING STREET
CARVER, MASSACHUSETTS**

APPLICANT:
AMERICAN ELECTRICAL
CONSTRUCTION, INC.
180 SOUTH MEADOW ROAD
PLYMOUTH, MA 02360

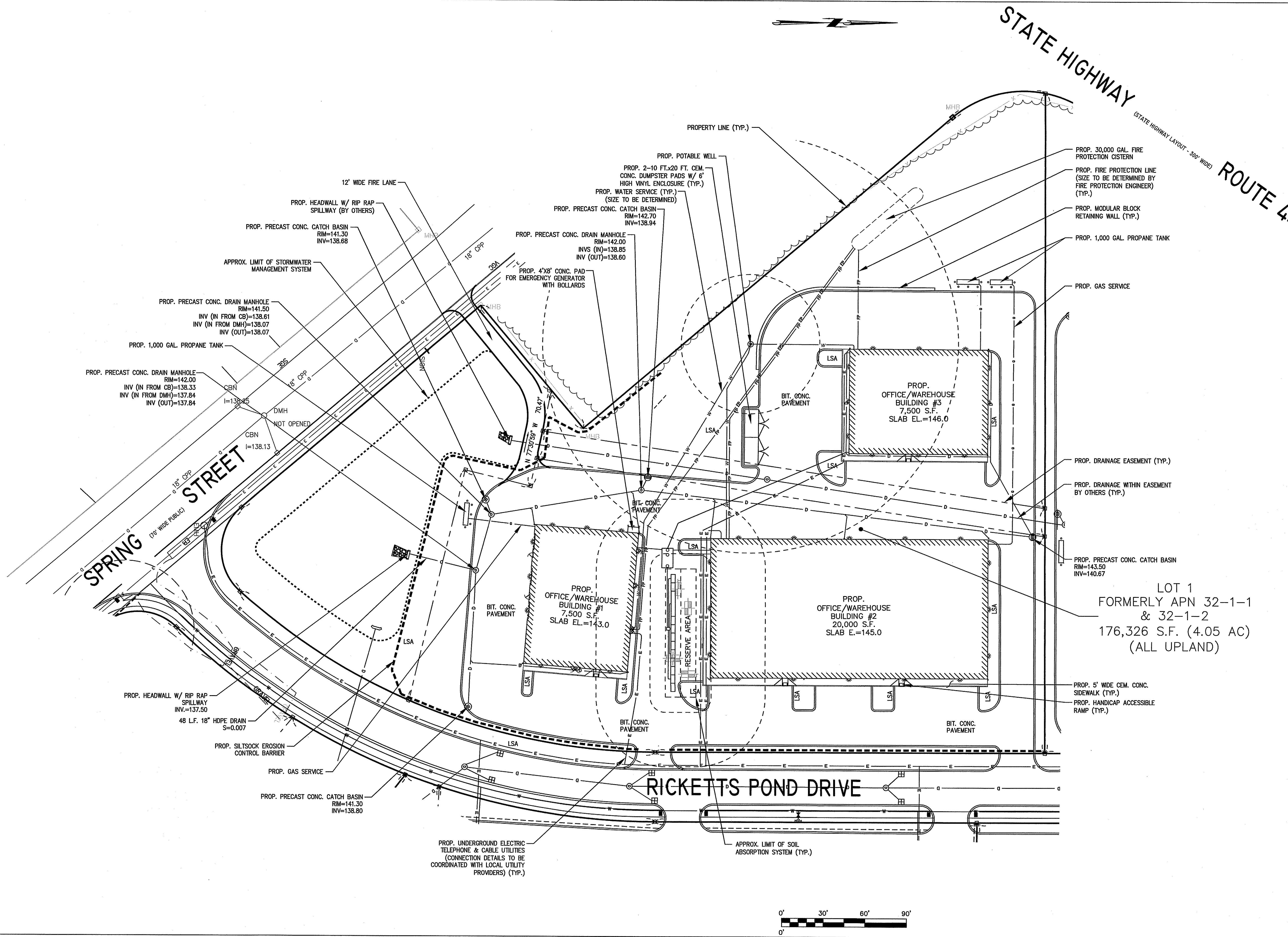
PERMIT PLAN SET

DRAWN BY:	AWL
DESIGNED BY:	AWL
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	FEBRUARY 28, 2022
SCALE:	1"=30'
PROJECT NO.:	221-168

GRADING & DRAINAGE PLAN

DWG. NO:

C-3



REV	DATE	DESCRIPTION	BY	APP
1	6/6/2022	CONSULTANT REVIEW	AWL	BCM

MCKENZIE ENGINEERING GROUP
Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
P: 781.792.3900
F: 781.792.0333
www.mckeng.com

SITE DEVELOPMENT PLANS
RICKETTS POND BUSINESS PARK,
LOT 1
OFF SPRING STREET
CARVER, MASSACHUSETTS

PROFESSIONAL ENGINEER:

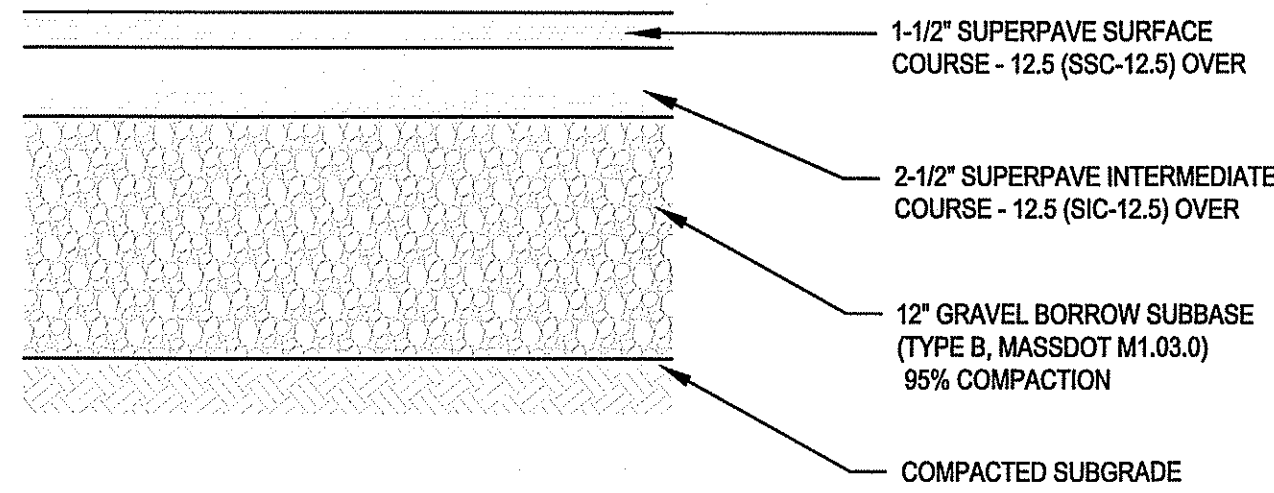
BRADLEY C. MCKENZIE
CIVIL
No. 38917
REGISTERED PROFESSIONAL ENGINEER

APPLICANT:
**AMERICAN ELECTRICAL
CONSTRUCTION, INC.**
180 SOUTH MEADOW ROAD
PLYMOUTH, MA 02360

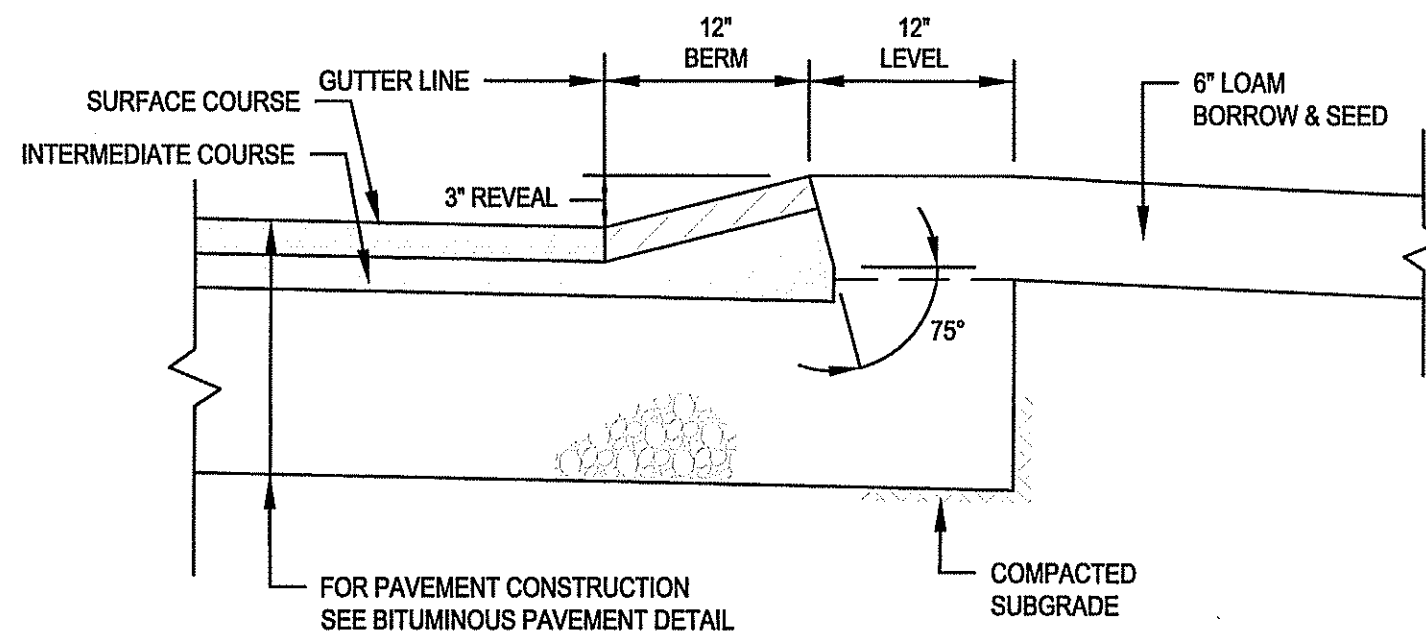
PERMIT PLAN SET

DRAWN BY: AWL
DESIGNED BY: AWL
CHECKED BY: BCM
APPROVED BY: BCM
DATE: FEBRUARY 28, 2022
SCALE: 1"=30'
PROJECT NO.: 221-168
DWG. TITLE: UTILITY PLAN

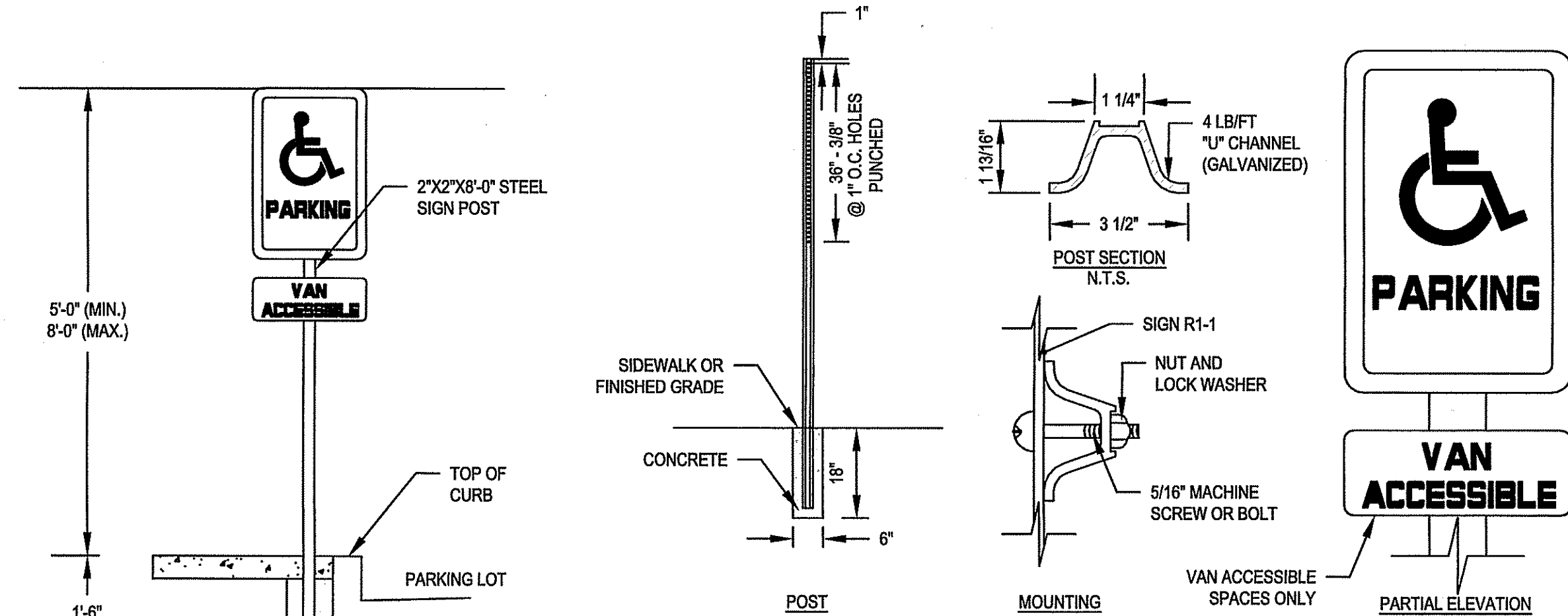
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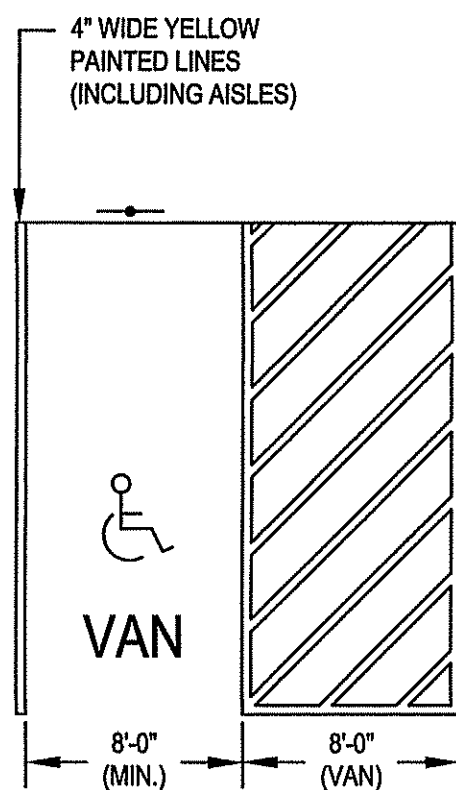
BITUMINOUS PAVEMENT DETAIL
SCALE: N.T.S.



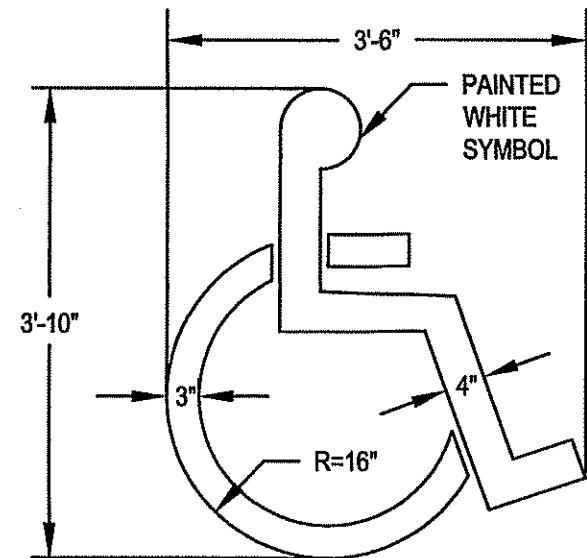
MONOLITHIC BITUMINOUS CONCRETE BERM (CAPE COD BERM) DETAIL
SCALE: N.T.S.



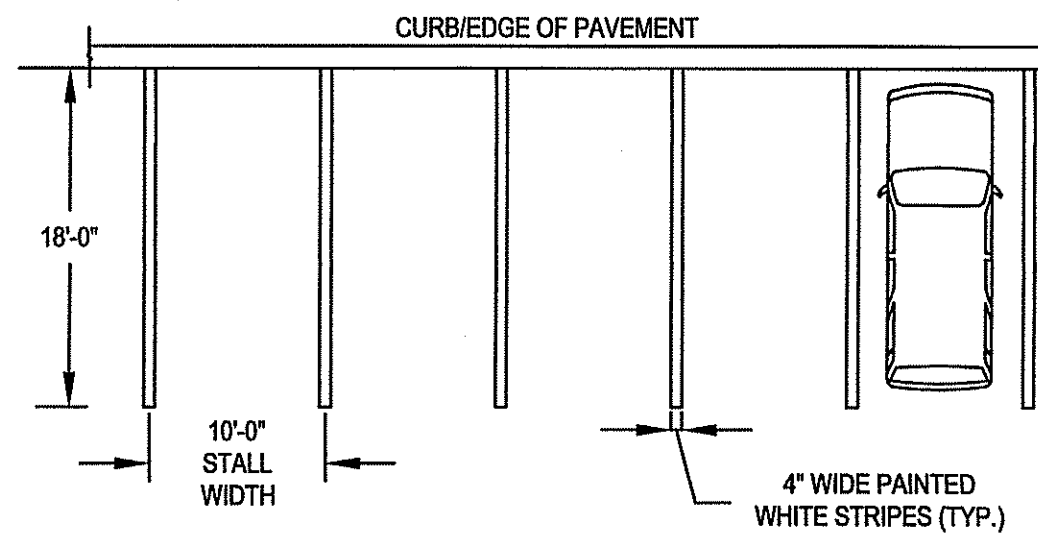
VAN ACCESSIBLE SIGN DETAIL
SCALE: N.T.S.



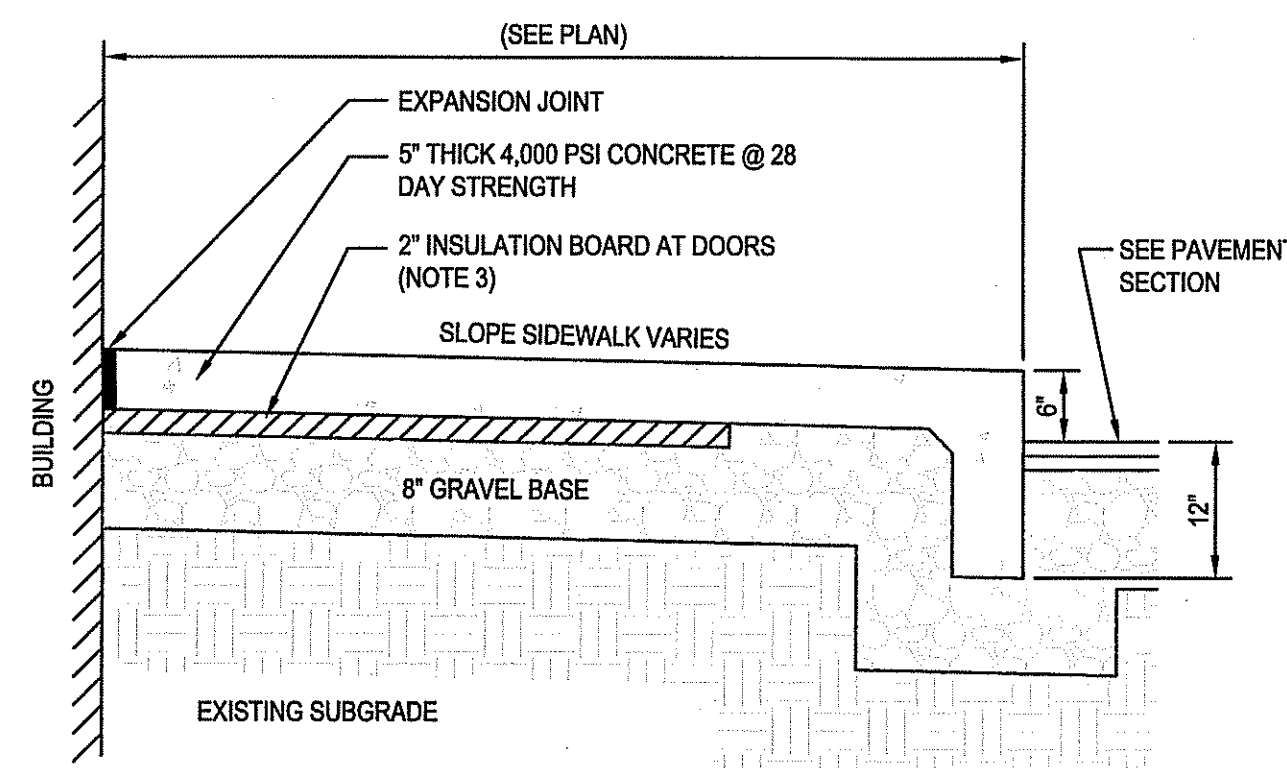
HANDICAP PARKING STALL DETAIL
SCALE: N.T.S.



PAINTED HANDICAP SYMBOL DETAIL
SCALE: N.T.S.

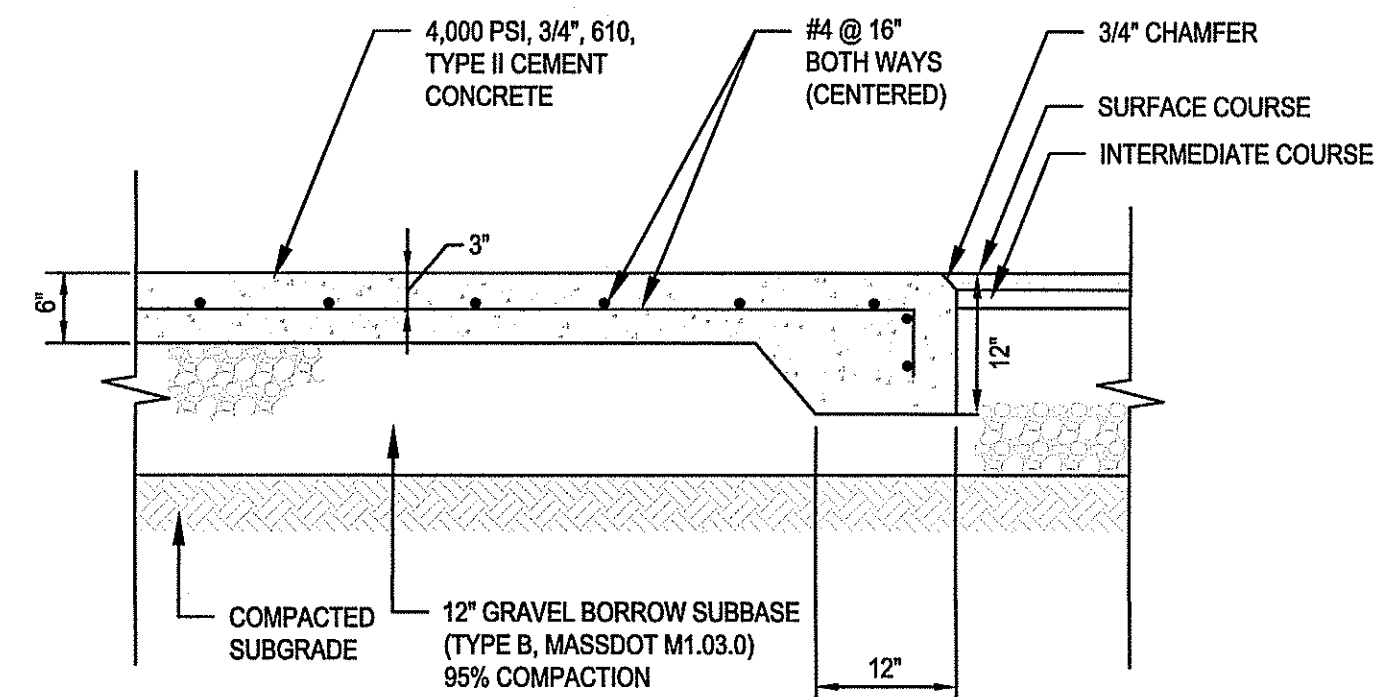


TYPICAL STRIPING DETAILS
SCALE: N.T.S.



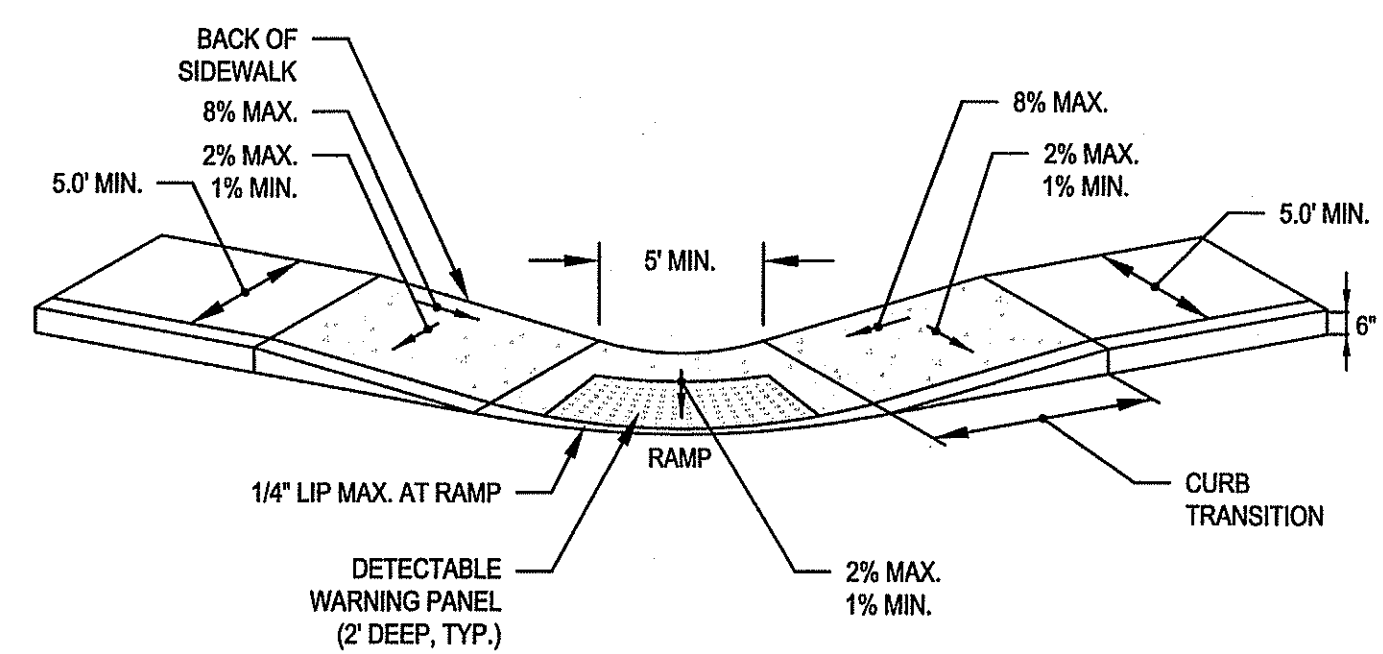
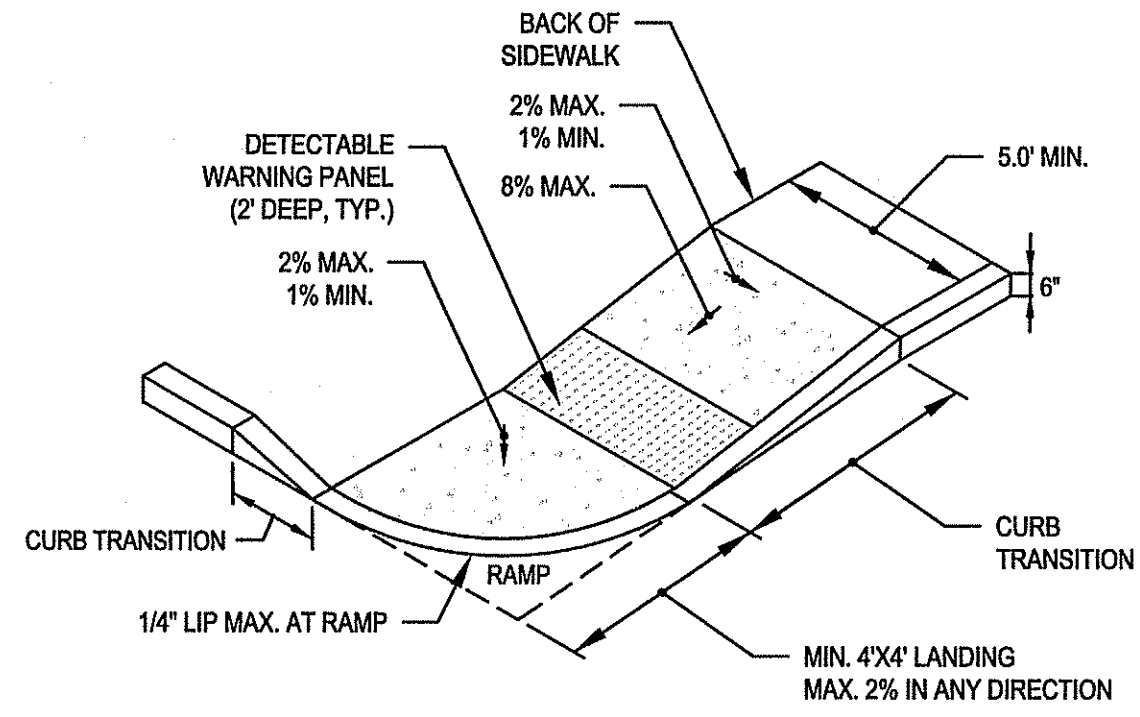
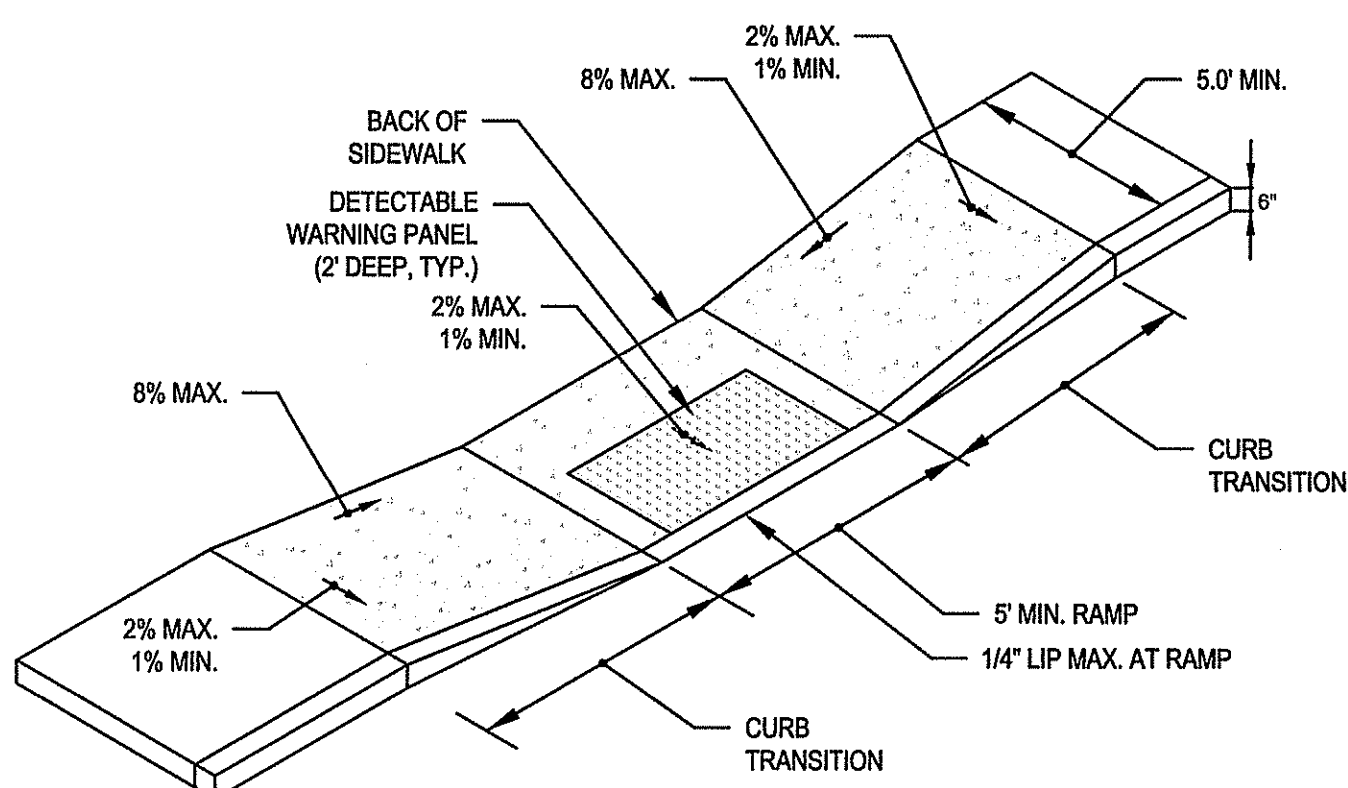
- NOTES:
1. SIDEWALK TO HAVE TOOLED JOINTS 5' O.C. (TYP.) WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.
 2. TOOLED JOINT 6" FROM FACE OF CURB
 3. PLACE 2" RIGID EXTRUDED STYROFOAM NONEXPANDABLE INSULATION BOARD LIGHT BLUE IN COLOR AT DOORS. BOARD TO BE PLACED IN 2'-2"x8' SECTIONS CENTERED ON AND EXTENDING 4' PERPENDICULAR FROM DOOR. BASE MATERIAL SHALL BE CRUSHED STONE AT DOORS.
 4. SEE PLAN FOR ELEVATIONS AT DOORS AND CURB

CONCRETE SIDEWALK AND MONOLITHIC CURB AT BUILDING
SCALE: N.T.S.



- NOTES:
1. CONSTRUCTION JOINTS TO BE SET AT INTERVALS OF 1/3 OF LENGTH.
 2. SQUARE DUMPSTER PAD TO BE 8'x8'.

CONCRETE DUMPSTER PAD DETAIL
SCALE: N.T.S.



CEM. CONC. ACCESSIBLE CURB RAMPS
SCALE: N.T.S.

- NOTES:
1. CURBS AND WALKS ALONG ACCESSIBLE ROUTES SHALL MEET OR EXCEED THE APPLICABLE REGULATIONS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD, FAIR HOUSING ACT AND ADA.
 2. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 2%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 4. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
 5. MAINTAIN A MINIMUM OF 3 FEET CLEAR AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS ETC.).
 6. GRADE BASE OF RAMP TO PREVENT PONDING.
 7. RAMP CONSTRUCTION SHALL CONFORM TO TYPICAL SIDEWALK SECTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ALL CURBING AT RAMPS SHALL BE VERTICAL CURBING SET FLUSH WHERE IT ABUTS ROADWAY.
 10. ALL RAMPS SHALL BE CEMENT CONCRETE WITH ROUGHENED NON-SLIP SURFACE.
 11. ALL DETECTABLE WARNING PANELS SHALL BE CAST IN PLACE WITH A STAINLESS STEEL ANCHORING SYSTEM. MINIMUM DIMENSIONS SHALL BE 2'-FEET WIDE BY 5'-FEET LONG, OR AS APPROVED.
 12. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE-CONTACT.
 13. CEMENT CONCRETE TO BE 4000 PSI, 3/4", 610, TYPE II.

REVISIONS

REV.	DATE	DESCRIPTION	BY	APP.
1	06/2022	CONSULTANT REVIEW	AWL	BCM

MEG
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SITE DEVELOPMENT PLANS
RICKETTS POND BUSINESS PARK, LOT 1
OFF SPRING STREET
CARVER, MASSACHUSETTS

PROFESSIONAL ENGINEER:

BRADLEY C. WOODRIDGE
NO. 36917
REGISTERED PROFESSIONAL ENGINEER

APPLICANT:
**AMERICAN ELECTRICAL
CONSTRUCTION, INC.**
180 SOUTH MEADOW ROAD
PLYMOUTH, MA 02360

DRAWN BY: AWL
DESIGNED BY: AWL
CHECKED BY: BCM
APPROVED BY: BCM
DATE: FEBRUARY 28, 2022
SCALE: AS NOTED
PROJECT NO.: 221-168

**CONSTRUCTION
DETAILS**

DWG. NO.: **D-1**

PERMIT PLAN SET

1. IF SHEETING IS USED, IT SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
2. ALL PIPES SHALL BE PRESSURE TESTED AT 200 PSI WORKING PRESSURE FOR A MINIMUM DURATION OF TWO HOUR.
3. WATER SYSTEM IS TO BE DISINFECTED TO 50 P.P.M. AVAILABLE CHLORINE AND AFTER 24 HOURS TO 25 P.P.M. OR AS REQUIRED BY CARVER WATER SUPERINTENDENT/ENGINEER.
4. WATER PIPE IS TO BE CEMENT LINED DUCTILE IRON "TYTON" OR EQUAL TYPE JOIN, CONFORMING TO A.N.S.I./A.W.W.A. C150/A21.50, CLASS 52, AS APPROVED BY THE TOWN'S WATER SUPERINTENDENT/ENGINEER.
5. ALL PIPING SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH A.W.W.A. STANDARDS PRIOR TO PAVING IF PAVING ABOVE TRENCH IS REQUIRED.
6. BACKFILL IS TO BE COMPACTED TO 90% MAXIMUM DRY DENSITY BY AASHTO T-180 D.
7. ALL WATER PIPE SHALL BE LAID WITH A MINIMUM OF 5 FEET OF COVER OF APPROVED MATERIALS.
8. RESULTS FROM PRESSURE TESTING AND DISINFECTION SHALL BE FURNISHED TO THE CARVER WATER DEPT. AND DIRECTOR OF PUBLIC WORKS FOR APPROVAL PRIOR TO WATER BEING TURNED ON.
9. ALL WORK SHALL BE IN CONFORMANCE WITH CARVER WATER DEPT. STANDARDS.
10. ALL PERMITS REQUIRED FOR STREET OPENINGS AND WATER MAIN TAPPING MUST BE OBTAINED.
11. NO WATER WILL BE TURNED ON IN THE PROJECT WITHOUT CARVER WATER DEPT. APPROVAL.

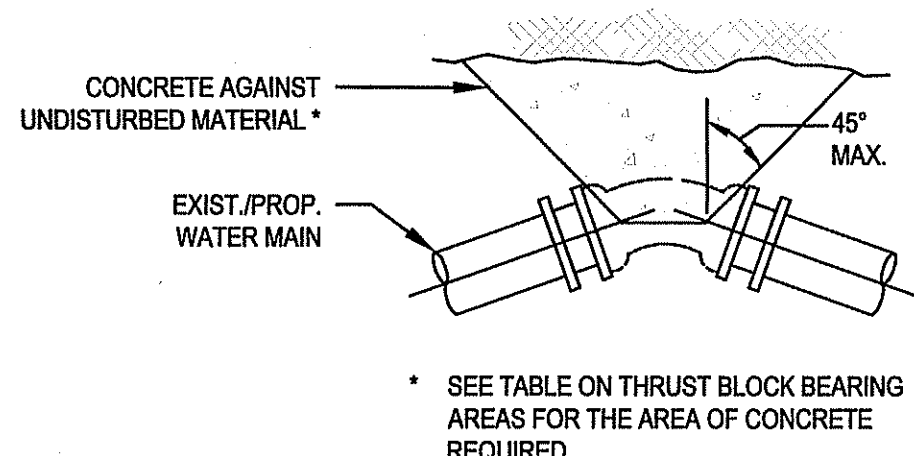
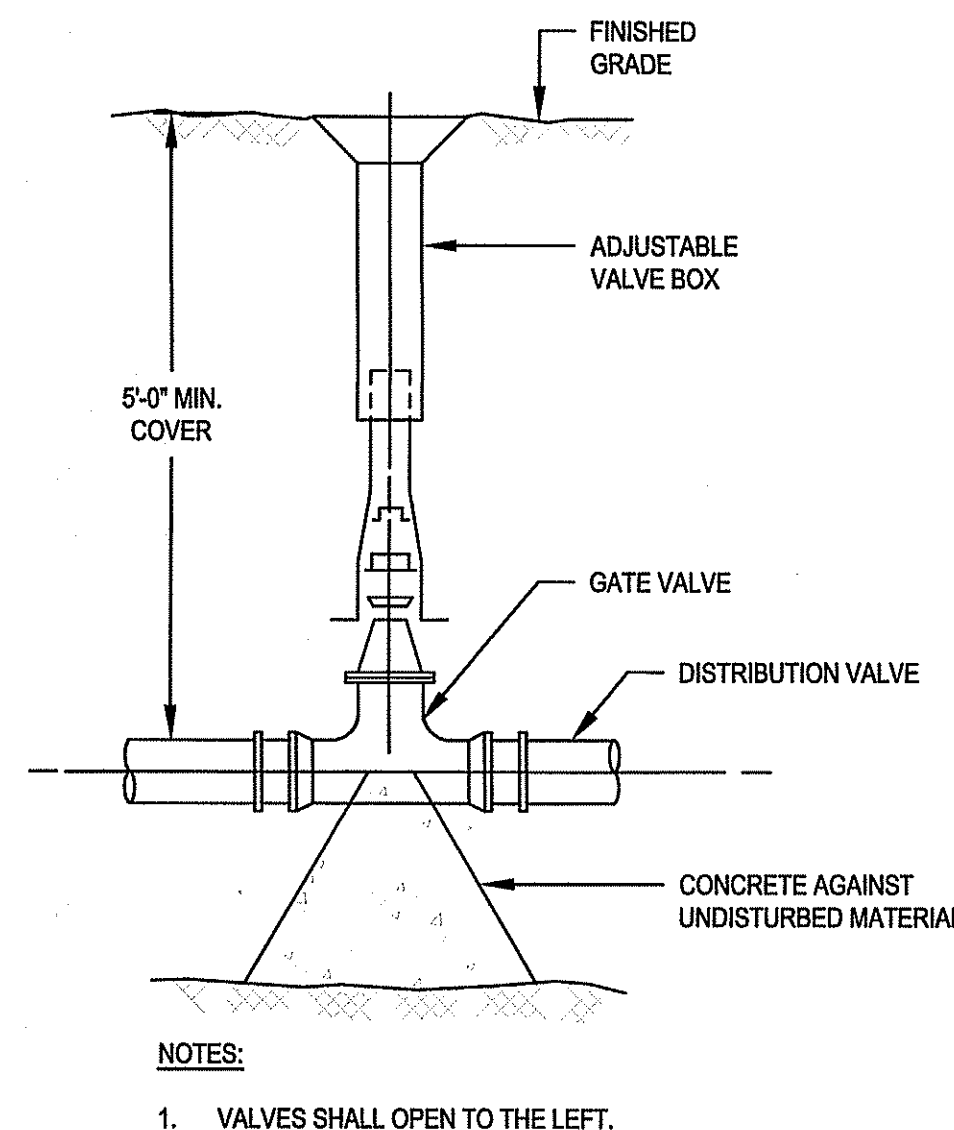
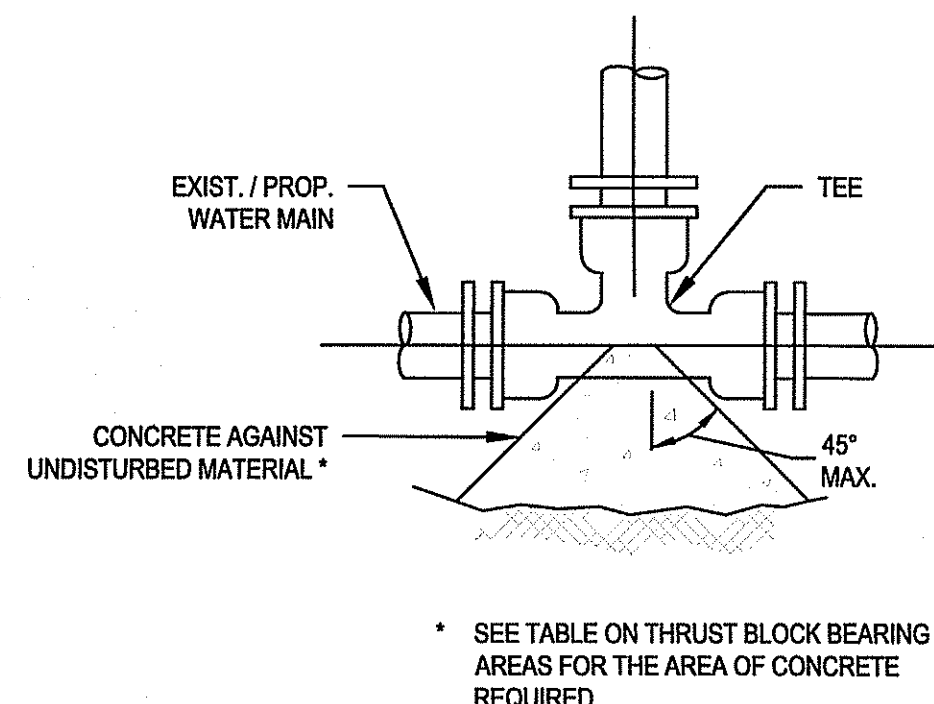
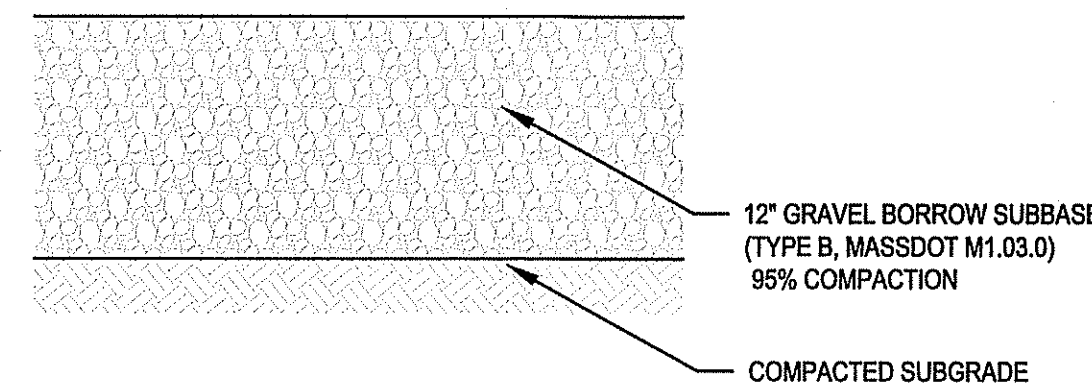
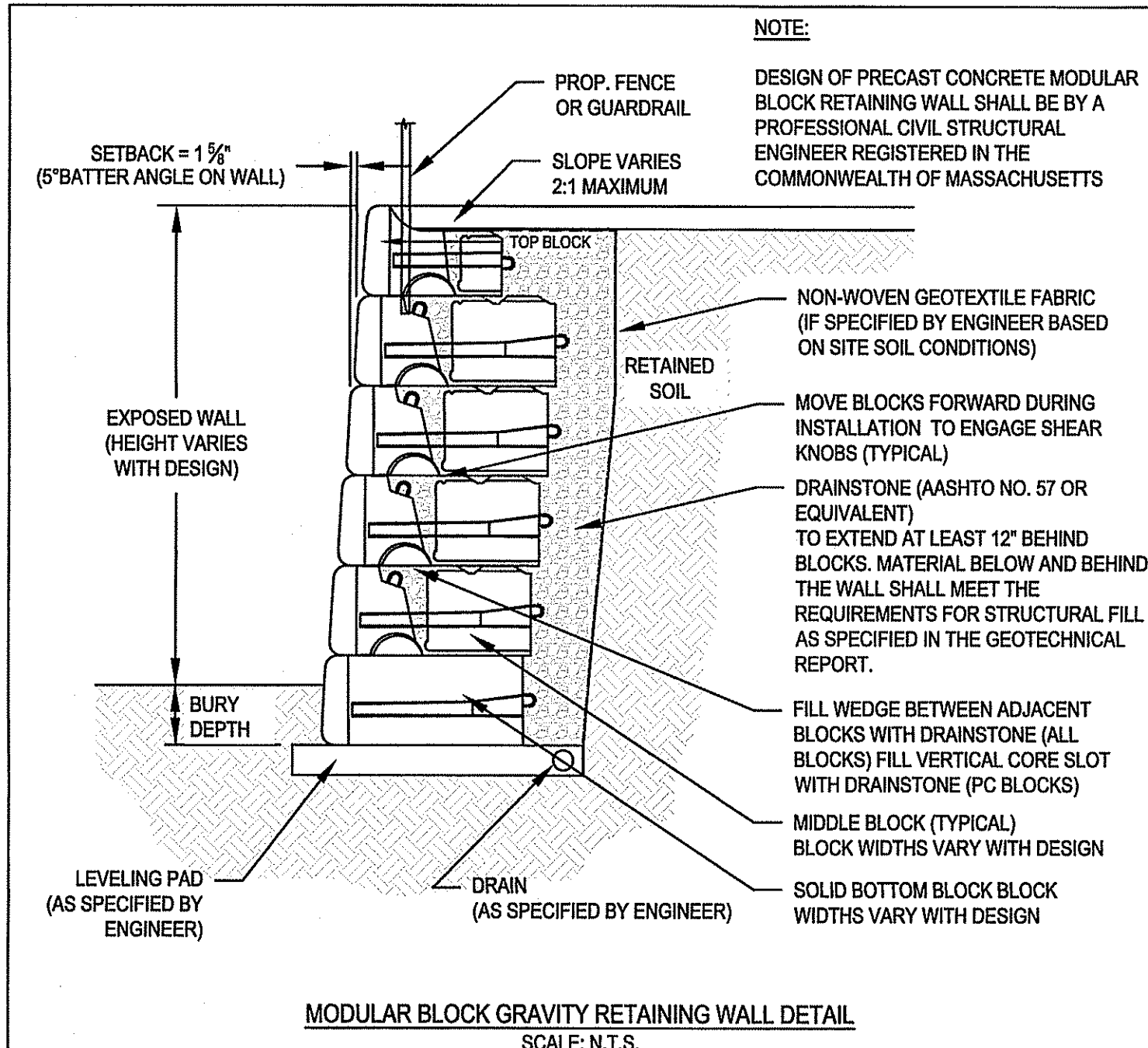
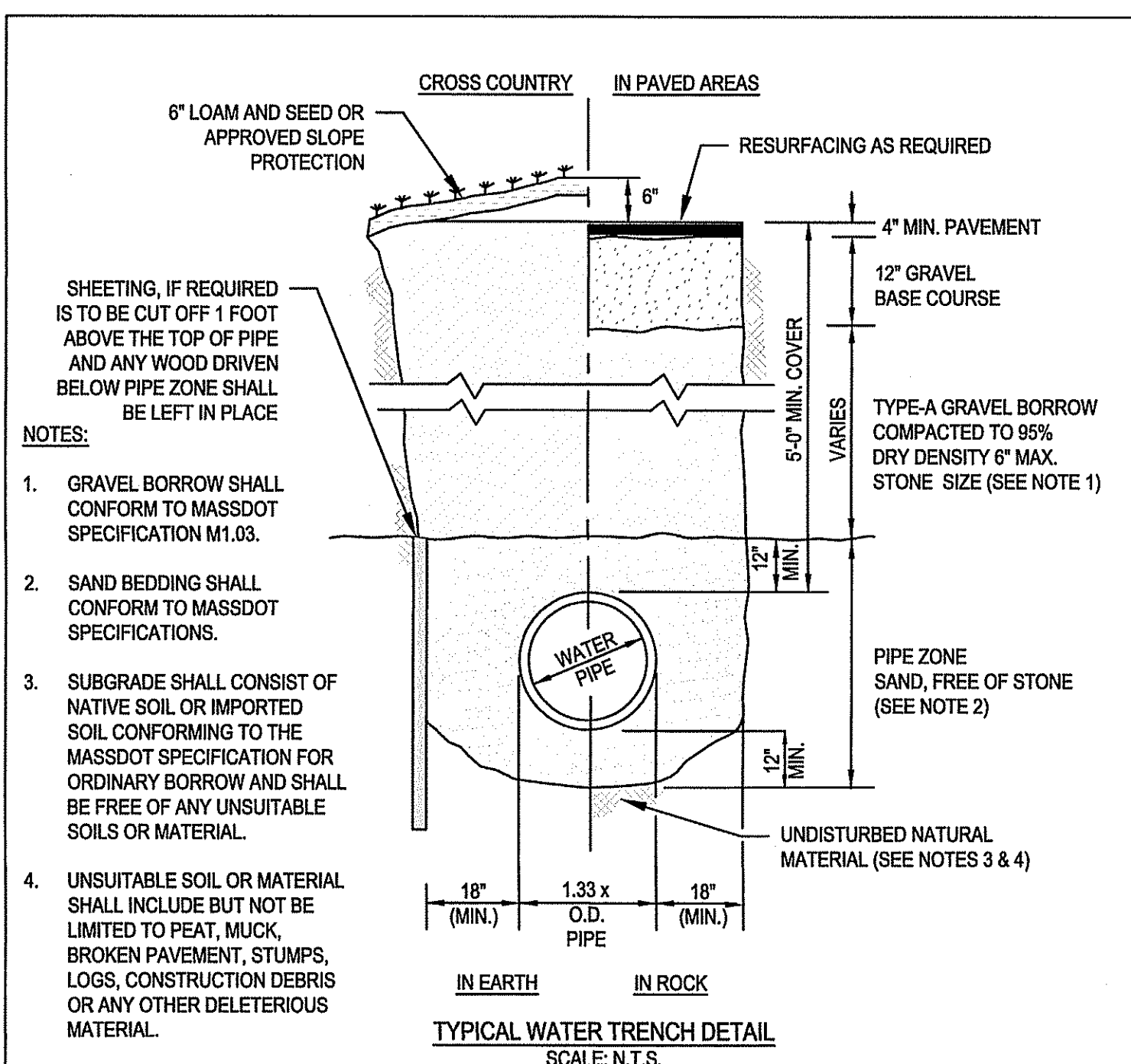


TABLE OF BEARING AREAS IN SQ. FT. AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS*			
SIZE OF MAIN (IN.)	90 ° BEND	TEES AND PLUGS	45 ° BEND
6	4	2.5	2
8	6	4	3
12	12	9	7
16	21	16	12

- NOTES:**
1. FOR FITTINGS WITH LESS THAN 45° DEFLECTION, USE BEARING AREAS FOR 45° BEND.
 2. BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 P.S.F. AND INTERNAL WATER PRESSURE OF 150 P.S.I.G. JOINTS SHALL NOT BE ENCASED IN CONCRETE. BEARING AREAS MAY BE DREGARED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN THE PIPE AND THE ROCK FACE.
 3. THE CONTRACTOR SHALL SUBMIT 2 WEEKS IN ADVANCE OF PLACEMENT, WORKING DRAWINGS FOR EACH THRUST BLOCK TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 4. ALL VALVES AND FITTINGS SHALL BE RODDED TOGETHER.

ASSUMPTIONS:

- * TYPE OF SOIL IS MEDIUM CLAYEY, 6 OR MORE BLOWS PER FOOT, OR LOOSE GRANULAR, 9 OR MORE BLOWS PER FOOT. SOIL CONDITIONS OTHER THAN THOSE GIVEN WILL REQUIRE LARGER BEARING AREAS.

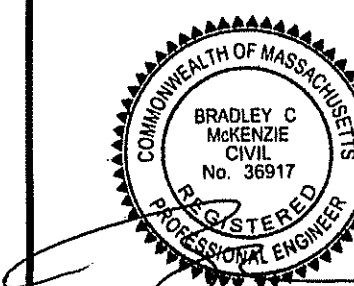


C MCKENZIE ENGINEERING GROUP, INC.

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SITE DEVELOPMENT PLANS
RICKETTS POND BUSINESS PARK, LOT 1
OFF SPRING STREET
CARVER, MASSACHUSETTS

PROFESSIONAL ENGINEER:



APPLICANT:
AMERICAN ELECTRICAL
CONSTRUCTION, INC.
180 SOUTH MEADOW ROAD
PLYMOUTH, MA 02360

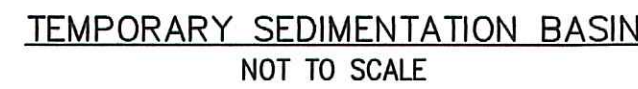
DRAWN BY:	AWL
DESIGNED BY:	AWL
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	FEBRUARY 28, 2022
SCALE:	AS NOTED
PROJECT NO.:	221-168
DWG. TITLE:	

CONSTRUCTION DETAILS

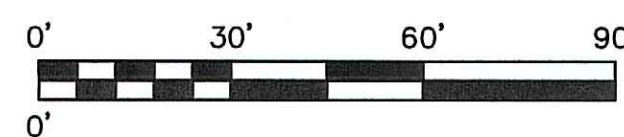
DWG. NO:




D-3

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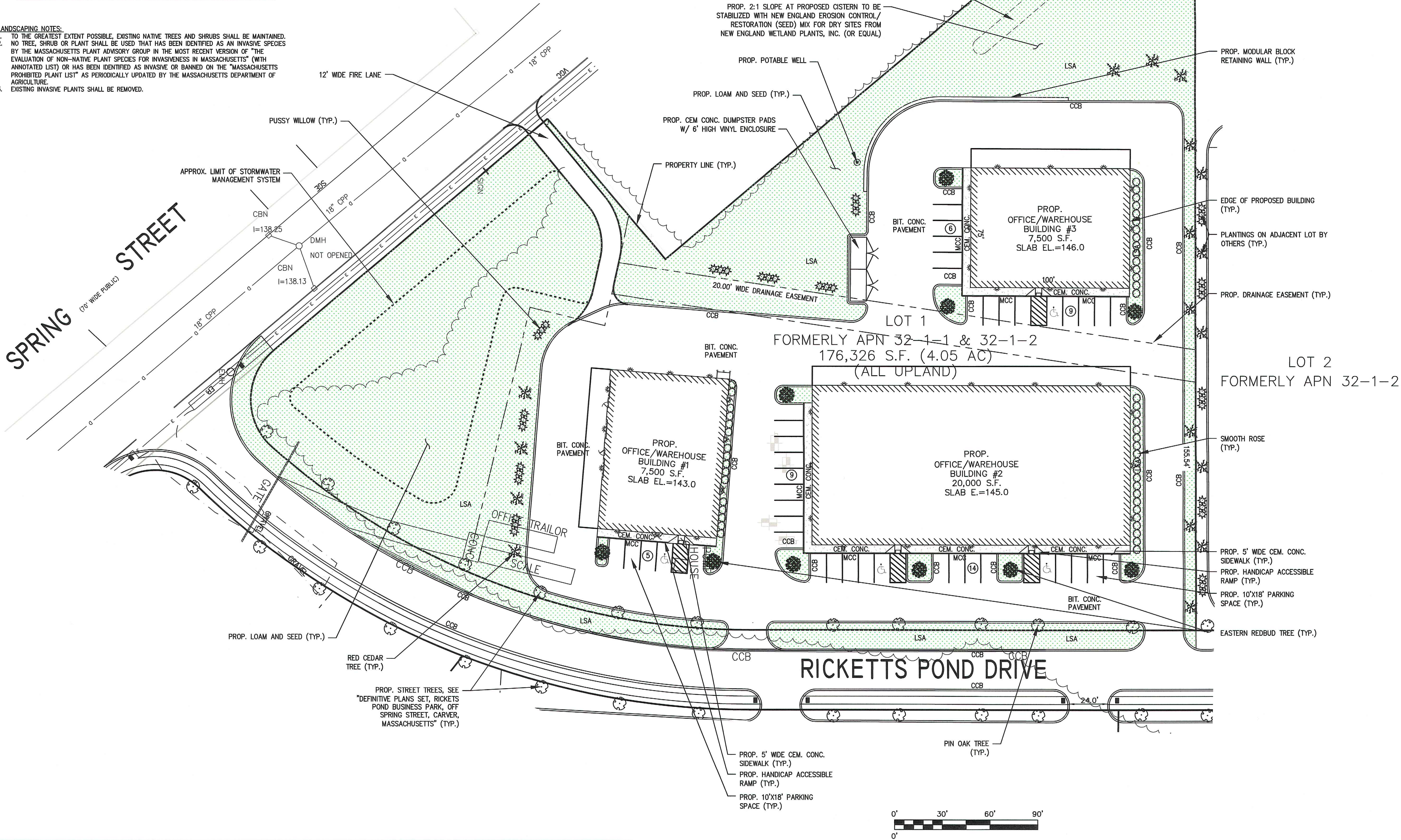
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PLANTING LIST				
QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SYMBOL
TREES				
12	QUERCUS PALUSTRIS	PIN OAK	2.5"-3" CALIPER	
10	CERCIS CANADENSIS	EASTERN REDBUD	20' HEIGHT	
13	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	7"-8" HEIGHT	
SHRUBS				
51	ROSA BLANDA	SMOOTH ROSE	5 GALLON POT	
24	SALIX DISCOLOR	PUSSY WILLOW (MALE)	5 GALLON POT	

PROPOSED SURFACE TREATMENTS TABLE	
	CEMENT CONCRETE
	LANDSCAPED AREA (LOAM AND SEED)
	PROPOSED BUILDING

- LANDSCAPING NOTES:
- TO THE GREATEST EXTENT POSSIBLE, EXISTING NATIVE TREES AND SHRUBS SHALL BE MAINTAINED.
 - NO TREE, SHRUB OR PLANT SHALL BE USED THAT HAS BEEN IDENTIFIED AS AN INVASIVE SPECIES BY THE MASSACHUSETTS PLANT ADVISORY GROUP IN THE MOST RECENT VERSION OF "THE EVALUATION OF NON-NATIVE PLANT SPECIES FOR INVASIVENESS IN MASSACHUSETTS" (WITH ANNOTATED LIST) OR HAS BEEN IDENTIFIED AS INVASIVE OR BANNED ON THE "MASSACHUSETTS PROHIBITED PLANT LIST" AS PERIODICALLY UPDATED BY THE MASSACHUSETTS DEPARTMENT OF AGRICULTURE.
 - EXISTING INVASIVE PLANTS SHALL BE REMOVED.



REV

DATE

DESCRIPTION

BY APP

1	8/6/2022	CONSULTANT REVIEW	AWL BCM

MCKENZIE

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SITE DEVELOPMENT PLANS

RICKETTS POND BUSINESS PARK,

LOT 1

OFF SPRING STREET

CARVER, MASSACHUSETTS

PROFESSIONAL ENGINEER:

COMMONWEALTH OF MASSACHUSETTS

BRADLEY C. MCKENZIE

CIVIL ENGINEER

No. 98917

REGISTERED

PROFESSIONAL ENGINEER

APPLICANT:

AMERICAN ELECTRICAL

CONSTRUCTION, INC.

180 SOUTH MEADOW ROAD

PLYMOUTH, MA 02360

DRAWN BY:

DESIGNED BY:

CHECKED BY:

APPROVED BY:

DATE:

SCALE:

PROJECT NO.:

DWG. TITLE:

AWL

AWL

BCM

BCM

FEBRUARY 28, 2022

1"=30'

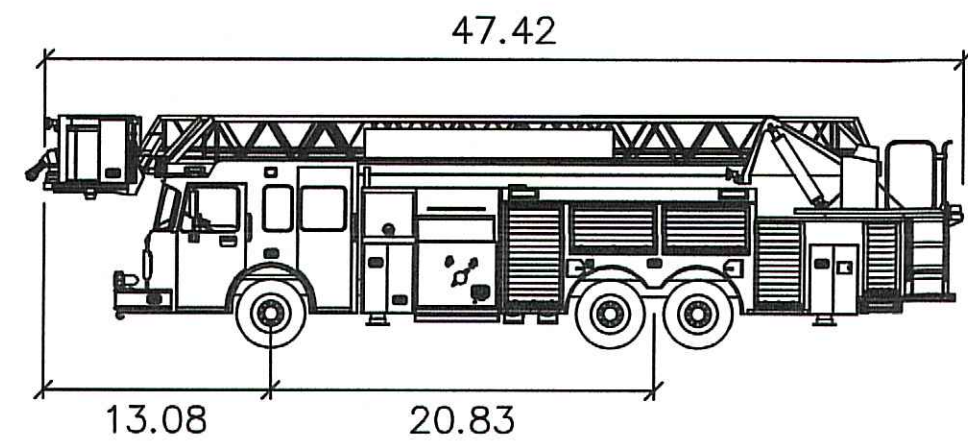
221-168

LANDSCAPING

PLAN

DWG. NO:

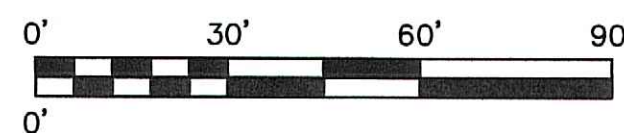
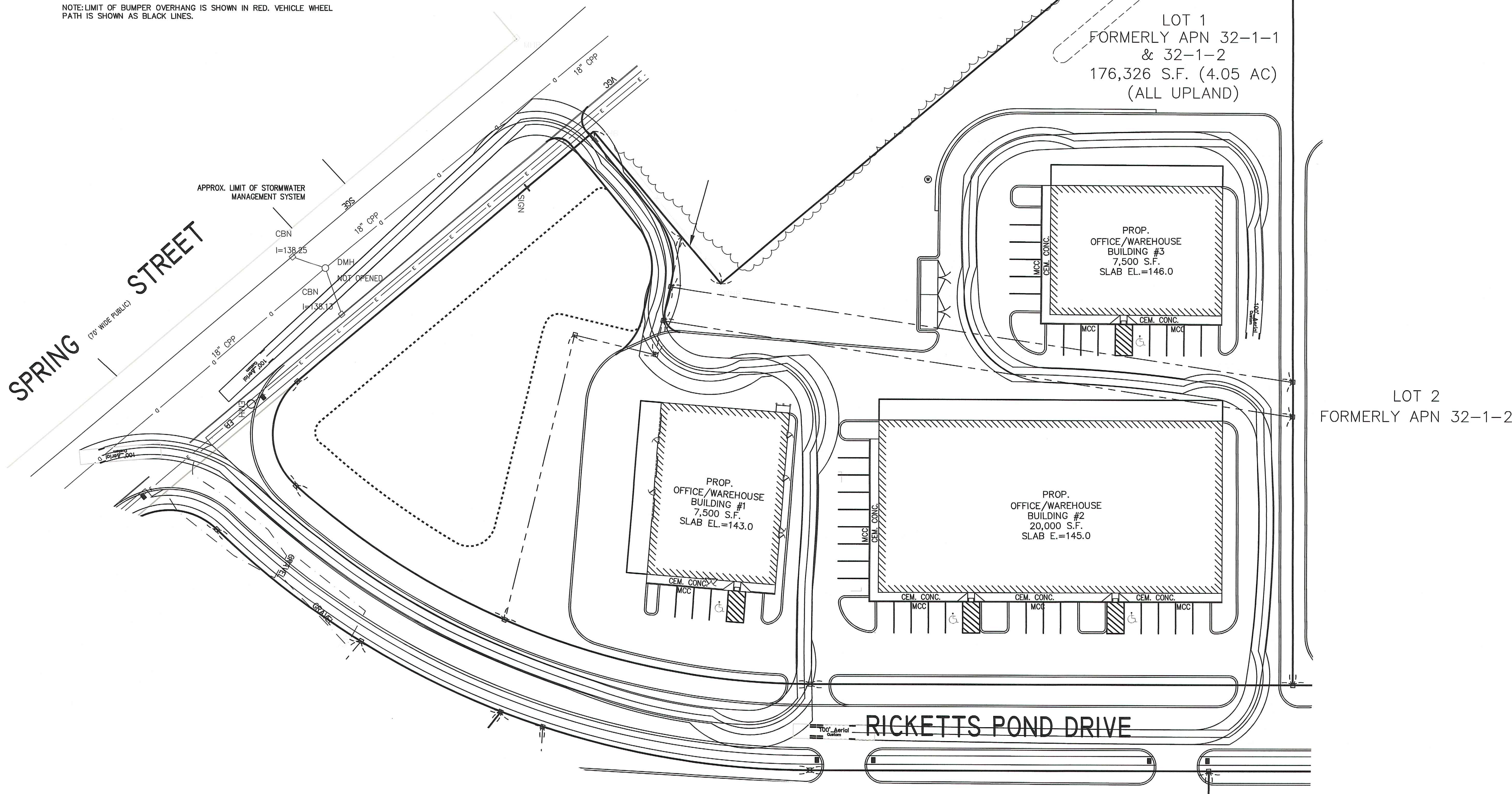
LA-1



100' Aerial Fire Truck

	feet
Width	: 8.33
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

NOTE: LIMIT OF BUMPER OVERHANG IS SHOWN IN RED. VEHICLE WHEEL PATH IS SHOWN AS BLACK LINES.



STATE HIGHWAY
(STATE HIGHWAY LAYOUT - 300' WIDE)
ROUTE 44

REV	DATE	DESCRIPTION	BY	APP
1	6/6/2022	CONSULTANT REVIEW	AWL	BCM

MG
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**SITE DEVELOPMENT PLANS
RICKETTS POND BUSINESS PARK,
LOT 1
OFF SPRING STREET
CARVER, MASSACHUSETTS**

PROFESSIONAL ENGINEER:

BRADLEY C. MCKENZIE
CIVIL
No. 38917
REGISTERED
PROFESSIONAL ENGINEER

APPLICANT:
**AMERICAN ELECTRICAL
CONSTRUCTION, INC.**
180 SOUTH MEADOW ROAD
PLYMOUTH, MA 02360

DRAWN BY:	AWL
DESIGNED BY:	AWL
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	FEBRUARY 28, 2022
SCALE:	1"=30'
PROJECT NO.:	221-168

DWG. TITLE:
**EMERGENCY
VEHICLE ACCESS
PLAN**

DWG. NO:
EVA-1

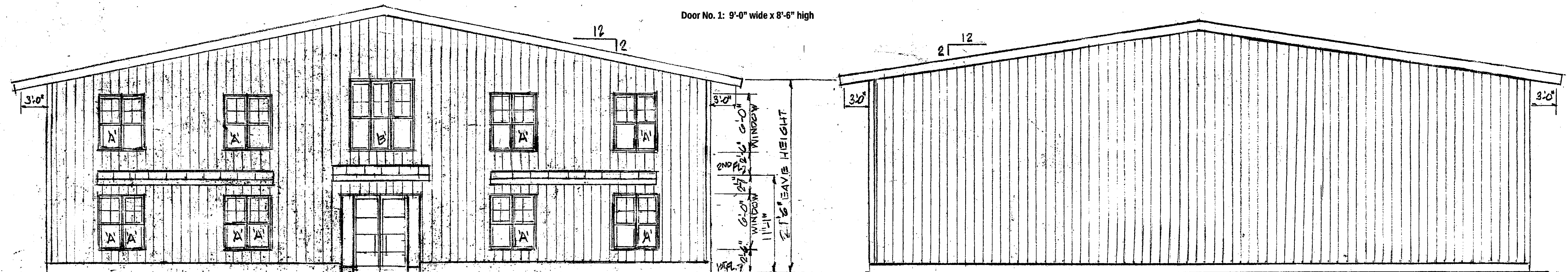
PERMIT PLAN SET

WINDOW OPENING DIMENSION SCHEDULE

(16) Windows 'A': 5'-0" wide x 6'-0" high
(1) Window 'B': 7'-0" wide x 8'-0" high

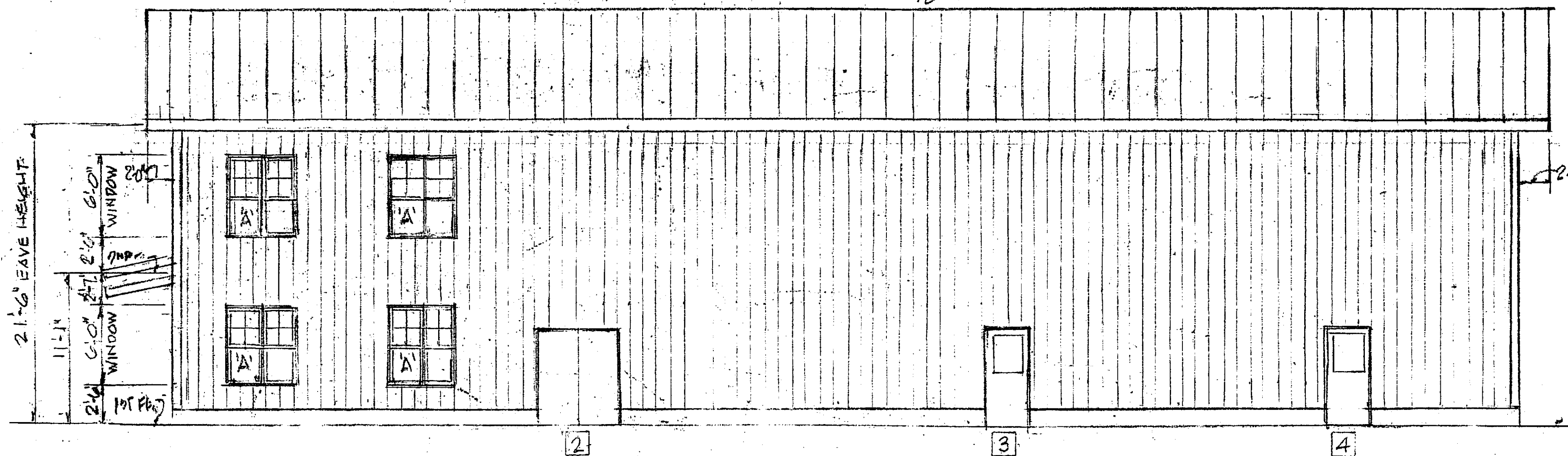
ENTRANCE DOOR/SIDELIGHT OPENING DIMENSION

Door No. 1: 9'-0" wide x 8'-6" high

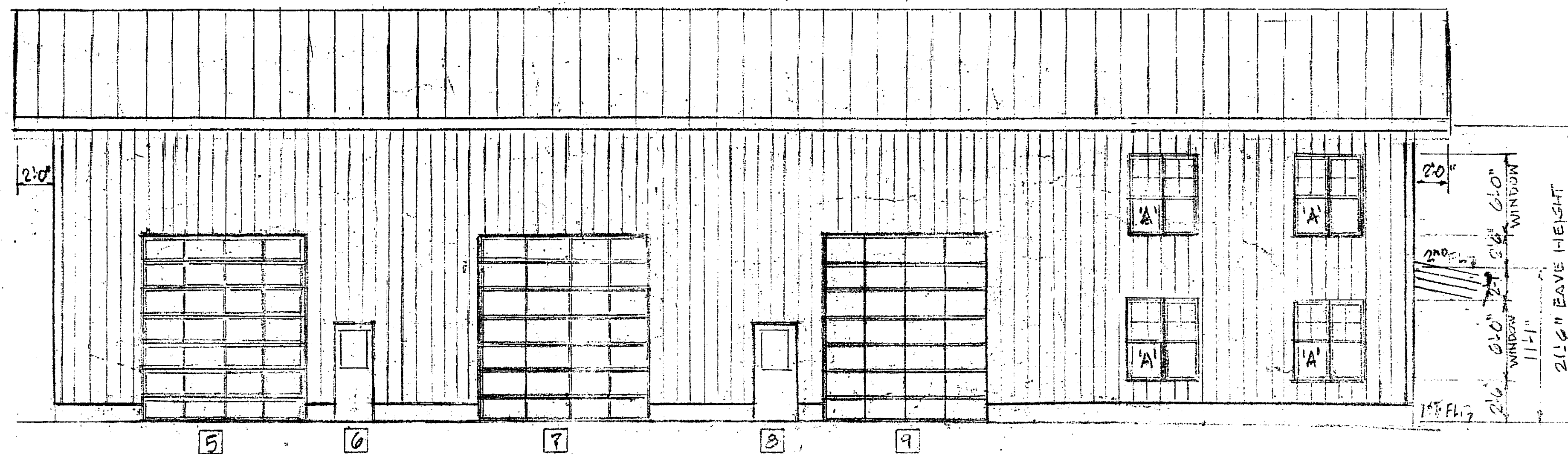


FRONT ELEVATION SCALE: 1/8"=1'-0"

REAR ELEVATION SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION SCALE: 1/8"=1'-0"



LEFT SIDE ELEVATION SCALE: 1/8"=1'-0"

ARCHITECT'S GENERAL NOTES

General Contractor is responsible to confirm and correlate dimensions at the job site to establish tolerances, clearances, quantities and information pertaining solely to the fabrication processes or to the means, methods, techniques, sequences and procedures of construction.

Contractor is responsible for coordination of the work of all trades and for performing all work in a safe and satisfactory manner.

Comply with and give notices required by laws, ordinances, rules, regulations and lawful orders of public authorities having jurisdiction applicable to performance of the architectural work.

Study and compare all Contract Documents relative to that portion of the architectural work, as well as the information and dimensions furnished in the form of surveys describing physical characteristics, legal description, and limitations in order to coordinate work to avoid errors or conflicts between trades. Correct any conditions adversely affecting the work.

Deliver, handle, store, install, apply, finish, repair, condition, adjust, balance, and clean architectural products, equipment and systems following the printed manufacturer's instructions and recommendations where temperature and humidity conditions in work areas are to be maintained within acceptable ranges under which products can be stored, installed, applied, cured, dried and finished.

Dimensions shown on the Architect's Construction Documents are from center to center of column lines and are to and from face of concrete, stud, purlin or girt members, unless otherwise indicated as a "clear" dimension measured from finish to finish. Do not scale the architectural drawings for dimensions.

See Civil Engineer's Site Plan Construction Documents for floor and grade elevations, site work and site improvements.

See Pre-Engineered Metal Building Manufacturer's Construction Documents for building structural details and specifications.

See Structural Engineer's Drawing F-1 for concrete foundation, footing and slab-on-grade details and specifications.

See Professional Engineer's Construction Documents for Mechanical, Plumbing, Electrical, Automatic Sprinkler, Fire Alarm and other life safety, data and communications systems design and specifications.

NOTE

1. See Drawing A-2 for First & Second Floor Building Plans
2. See Drawing A-3 for First Floor Office Plan
3. See Drawing A-4 for Second Floor Office Plan
4. See Drawing A-5 for Wall Type Details Schedule
5. See Drawing A-5 for Accessible Toilet Room Fixtures Details
6. See Drawing A-6 for Door, Doorframe & Hardware Schedule
7. See Drawing A-6 for Room Finish Schedule
8. See Drawing A-6 for Atrium and Shop Stairs Details
9. See Drawing A-7 for Maximum Floor Area Allowances Per Occupant, Egress Based On Occupant Load And Common Path of Egress & Exit Access Doorway Configuration Schedules
10. See Drawing A-7 for Cross-Section Thru Atrium
11. See Drawing A-7 for Energy Efficiency Schedule

ARCHITECT

CHESTER L. FIELD, JR.
15 HENNING DRIVE
WHITMAN, MA.

CLIENT

AMERICAN ELECTRICAL
CONSTRUCTION, INC.

PROJECT ADDRESS
OFFSPRING ST., CARVER, MA.

REVISIONS

DWG TITLE

EXTERIOR BUILDING
ELEVATIONS

SCALE: AS NOTED

DATE: 3-25-22

DWG. NO.

A-1

OF 7