

LEGEND

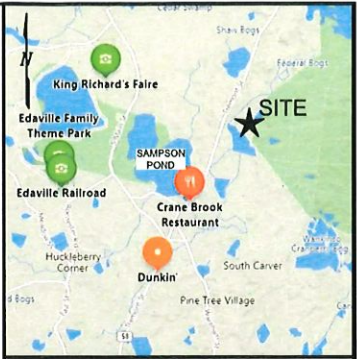
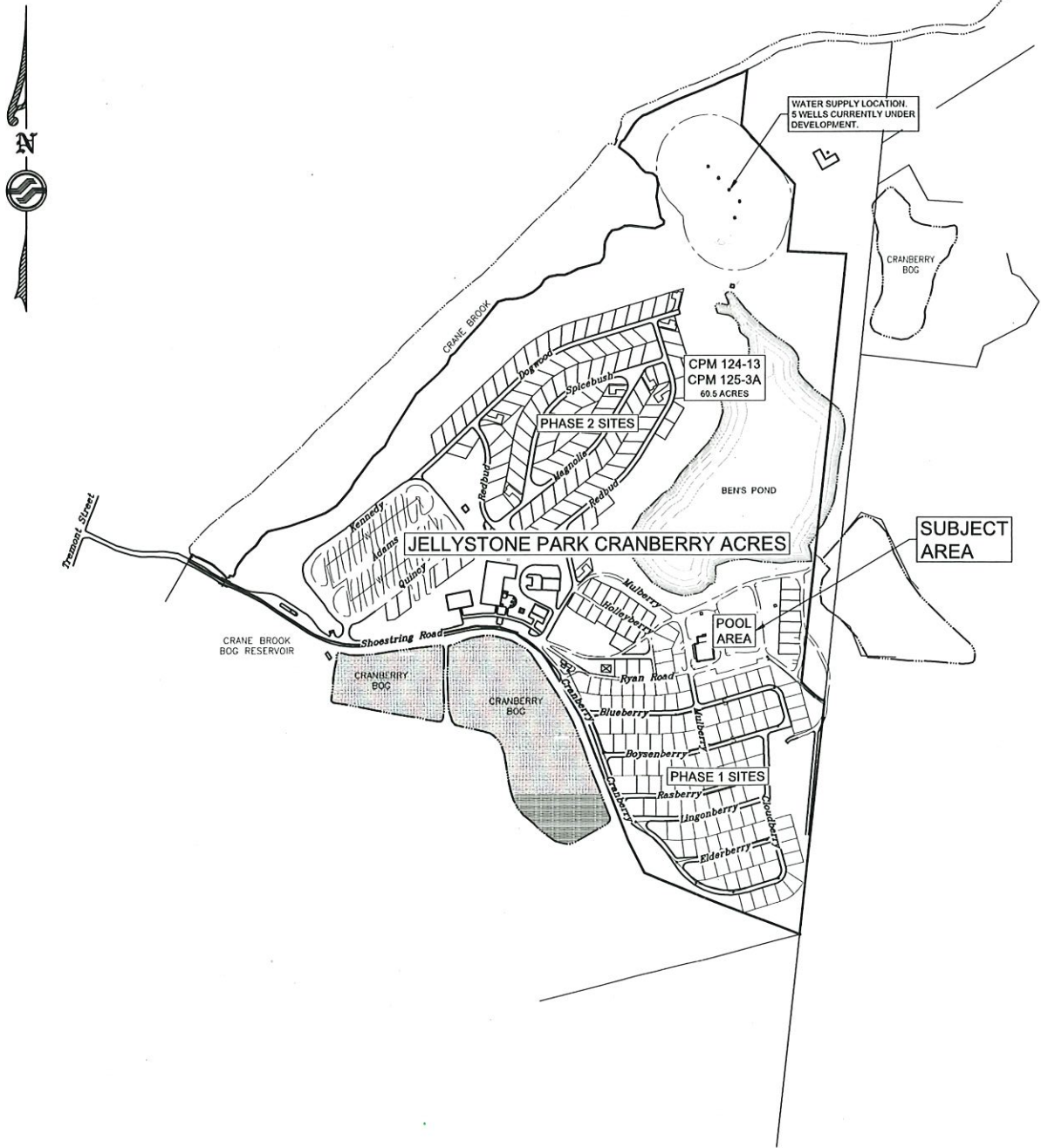
PROPERTY LINE	EXISTING	PROPOSED
EASEMENT LINE		
EDGE OF GRAVEL		
CONTOURS	-282-	282
EDGE OF WATER		
EDGE OF WETLAND		
WETLAND BOUNDARY FLAG	WF#	
RAPARIAN ZONE		
WETLAND OFFSET / BUFFER		
FLOODPLAIN		
TREE LINE		
UTILITY POLE	-O-	
FLOOD LIGHT	<1	
AREA LIGHT	o	
OVERHEAD UTILITIES	-O/E&T-	
UNDERGROUND UTILITIES		-PU/E&T-
WATER WELL	⊕	
WATER LINE	-W-	
WATER GATE		PW
WATER HYDRANT		+
SANITARY SEWER		PS



DIG SAFE 1-888-344-7233

Site Development Plans
Pool Area
Jellystone Park Cranberry Acres
20 Shoestring Road
Carver, MA

September 20, 2022



LOCATION PLAN

PREPARED FROM:
BING MAPS
SCALE: 1" = 1 MILE (5280 FEET)

NOTE

THIS PLAN WAS PREPARED FROM THE PLAN OF REFERENCE AND THE ASSESSORS MAPS OF THE TOWN OF CARVER.

SHEET INDEX

SHEET NUMBER	DESCRIPTION	REVISION NUMBER	DATE
1	TITLE SHEET	-	9/20/2022
2	EXISTING CONDITIONS - POOL AREA	-	9/20/2022
3	DEMOLITION PLAN - POOL AREA	-	9/20/2022
4	SITE PLAN - POOL AREA	-	9/20/2022
5	GRADING & UTILITY PLAN - POOL AREA	-	9/20/2022
6	LANDSCAPE PLAN - POOL AREA	-	9/20/2022
7	EROSION CONTROL DETAILS - POOL AREA	-	9/20/2022
8	CONSTRUCTION DETAILS - POOL AREA	-	9/20/2022
9	CONSTRUCTION DETAILS - POOL AREA	-	9/20/2022
DD-14	ADG - LANDSCAPE PLAN	-	9/20/2022

SITE PLAN APPROVAL

DATE: _____

CARVER PLANNING BOARD

No.	Revision	Date
Designed by:	Drawn by: DMF	Checked by:

Title Sheet
Jellystone Park Cranberry Acres
20 Shoestring Road
Carver, MA
Assessors Map 124 Lot 13, Map 125 Lot 3A



183 Rockingham Rd, Unit 3 East
Windham, NH 03087

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Sheet 1 of 9

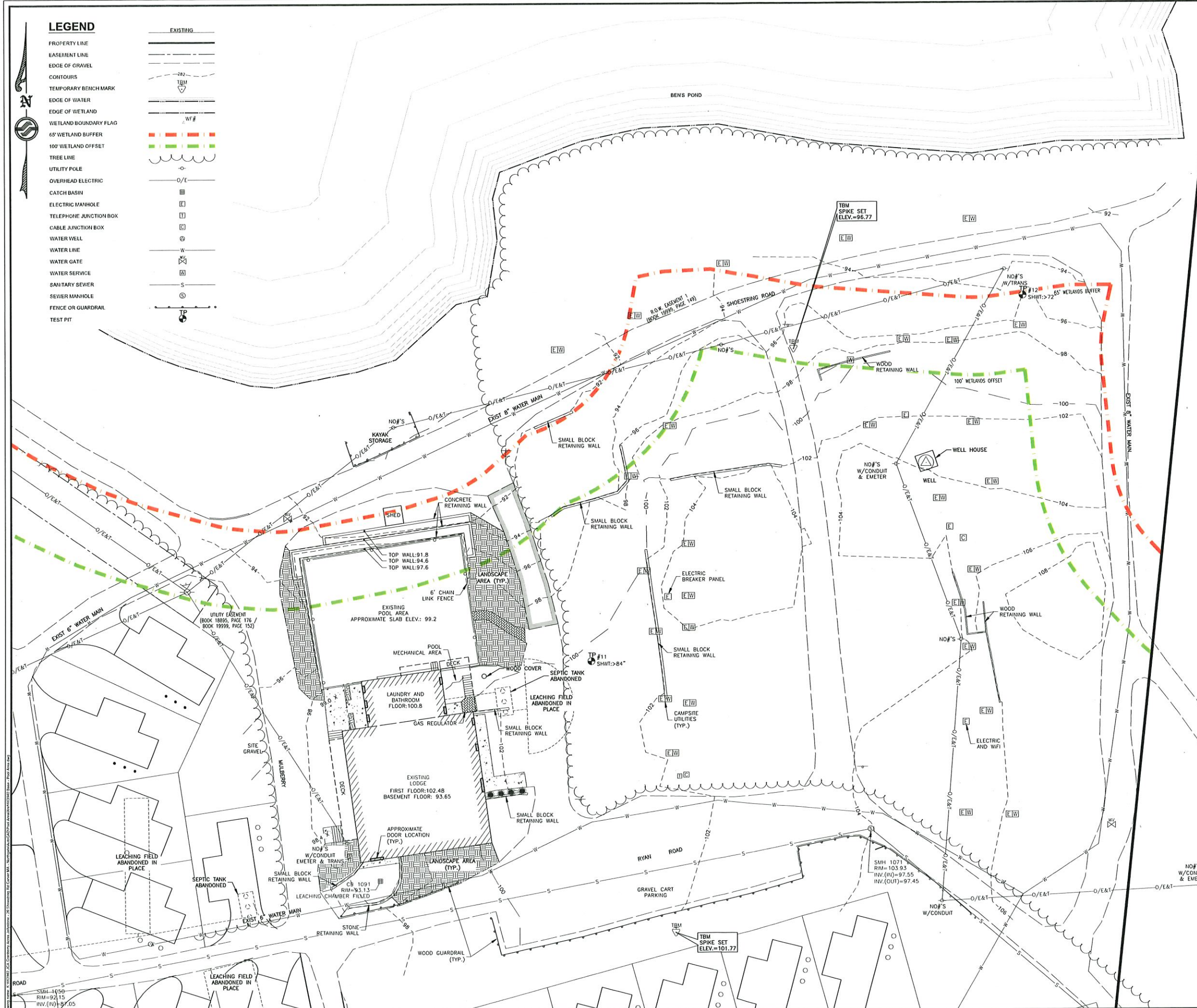
Scale: 1" = 250' ±

Date: 9/20/2022



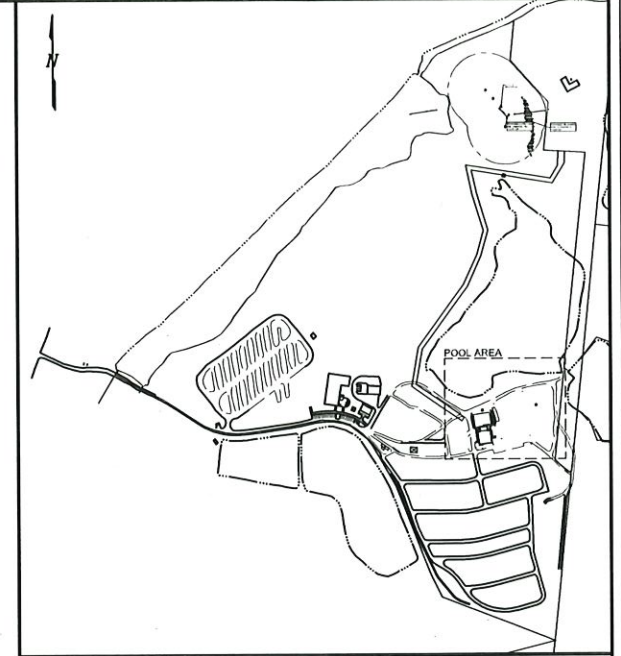
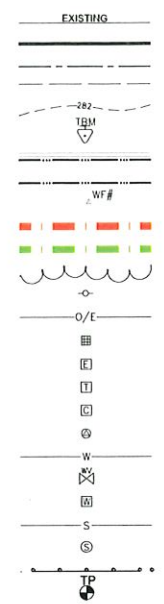
Prepared for:
NGR Cape Cod, LLC
38 Commerce Ave. SW
Suite 200
Grand Rapids, MI 49503

Zoning Classification: Residential Agricultural



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- EDGE OF GRAVEL
- CONTOURS
- TEMPORARY BENCH MARK
- EDGE OF WATER
- EDGE OF WETLAND
- WETLAND BOUNDARY FLAG
- 65' WETLAND BUFFER
- 100' WETLAND OFFSET
- TREE LINE
- UTILITY POLE
- OVERHEAD ELECTRIC
- CATCH BASIN
- ELECTRIC MANHOLE
- TELEPHONE JUNCTION BOX
- CABLE JUNCTION BOX
- WATER WELL
- WATER LINE
- WATER GATE
- WATER SERVICE
- SANITARY SEWER
- SEWER MANHOLE
- FENCE OR GUARDRAIL
- TEST PIT



LOCUS
SCALE: 1"=100'

PLAN OF REFERENCE

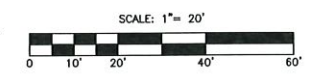
1. "SITE LAYOUT PLAN OF JELLYSTONE PARK AT 20 SHOESTRING ROAD, CARVER, MASSACHUSETTS". PREPARED FOR: NGR CAPE COD, LLC. PREPARED BY: WEBBY ENGINEERING ASSOCIATES, INC. DATED: NOVEMBER 19, 2021. LAST REVISED: FEBRUARY 11, 2022.

NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE CURRENT CONDITIONS OF THE POOL AREA OF JELLYSTONE PARK.
2. THE OWNER OF RECORD: NGR CAPE COD, LLC. REFERENCE BOOK 53760 PAGE 273 RECORDED AT THE PLYMOUTH COUNTY REGISTRY OF DEEDS.
3. INSTRUMENT FIELD SURVEY WAS PERFORMED BY SFC ENGINEERING ON 7/20/2022 IN THE PREPARATION OF THIS PLAN. THE PROPERTY BOUNDARY AND BENS POND ARE PER THE PLAN OF REFERENCE.
4. VERTICAL DATUM: UNKNOWN TAKEN FROM EXISTING WEBBY SURVEY CONTROL POINTS.
5. A PORTION OF THIS PARCEL IS LOCATED WITHIN A FLOOD HAZARD AREA AS INTERPRETED FROM THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF CARVER, COMMUNITY-PANEL NUMBER 25023C0476K. EFFECTIVE DATE: 7/6/2021 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. NO PORTION OF THE POOL DEVELOPMENT IS WITHIN THE FLOODPLAIN.
6. PREDOMINANT NRCS SOIL TYPE IN DEVELOPMENT AREA IS (252C) CARVER - COARSE SAND.
7. TEST PITS WERE OBSERVED BY SFC ENGINEERING ON JUNE 8, 2022.
8. THE 100' WETLAND OFFSET AND 65' WETLAND BUFFER ARE BASED ON PLAN OF REFERENCE.
9. ALL UNDERGROUND UTILITIES, IF SHOWN, ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION.
10. THE EXISTING SEPTIC TANKS AND LEACH FIELDS ARE PER THE PLAN OF REFERENCE. THESE SYSTEMS ARE ASSUMED TO HAVE BEEN ABANDONED IN PLACE.

SITE PLAN APPROVAL

DATE: _____



CARVER PLANNING BOARD

No.	Revision	Date
Designed by:	Drawn by: JRB	Checked by: DMF

Existing Conditions - Pool Area
Jellystone Park Cranberry Acres
20 Shoestring Road
Carver, MA
Assessors Map 124 Lot 13, Map 125 Lot 3A



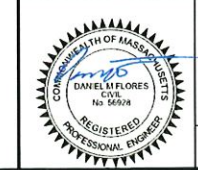
183 Rockingham Rd, Unit 3 East
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Sheet 2 of 9

Scale: 1" = 20'

Date: 9/20/2022

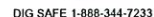


Prepared for:
NGR Cape Cod, LLC
38 Commerce Ave. SW
Suite 200
Grand Rapids, MI 49503

Zoning Classification: Residential Agricultural



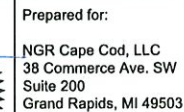
1. THE PURPOSE OF THIS PLAN IS TO DEPICT DEMOLITION ITEMS WITHIN THE POOL AREA OF JELLYSTONE PARK.
2. ALL UNDERGROUND UTILITIES, IF SHOWN, ARE APPROXIMATE. CONTRACTOR TO CONTACT DISSAFE 72 HOURS PRIOR TO CONSTRUCTION.
3. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO VERIFY THAT THEY HAVE THE MOST RECENT SET OF PLANS. ALL WORK IS TO BE PERFORMED USING A COMPLETE SET OF PLANS AS SOME ITEMS ARE NOT SHOWN ON EVERY SHEET.
4. THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY IF CONDITIONS ARE FOUND THAT DO NOT MATCH WHAT IS SHOWN ON THESE PLANS. THE EXISTING SEPTIC TANKS AND LEACH FIELDS ARE PER THE PLAN OF REFERENCE. THESE SYSTEMS ARE ASSUMED TO HAVE BEEN ABANDONED IN PLACE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING APPROPRIATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH MADEP AND US EPA BEST MANAGEMENT PRACTICES.



Demolition Plan - Pool Area
Jellystone Park Cranberry Acres
20 Shoestring Road
Carver, MA
 Assessors Map 124 Lot 13, Map 125 Lot 3A

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Date: 9/20/2022

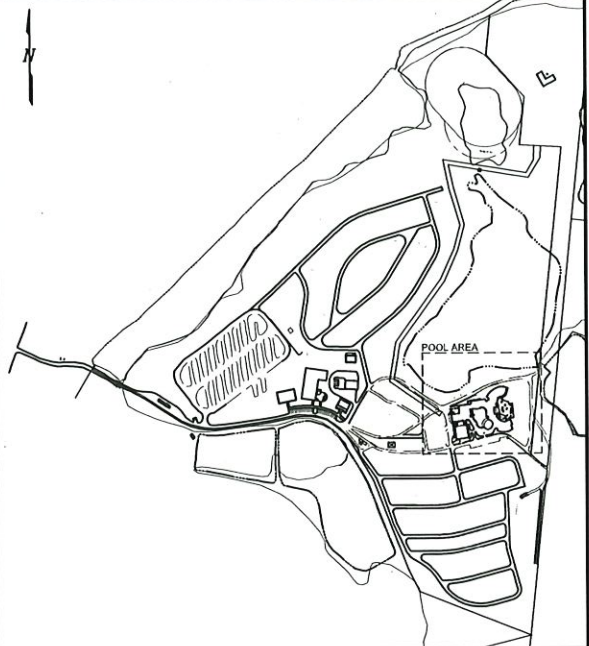


Zoning Classification: Residential Agricultural

DATE: _____

CARVER PLANNING BOARD

ZONING TABLE		
RESIDENTIAL-AGRICULTURAL (RA) ZONE		
REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT SIZE	1.38 Ac (60,000 SF)	60.5± Ac
FRONTAGE	150 Ft	24 FT
FRONT SETBACK	50 Ft	819 FT (PROPOSED PAVILION)
REAR YARD	50 Ft	99 FT (POOL SLIDES)
SIDE YARD	30 Ft	64 FT (PROPOSED PAVILION)
MAXIMUM BUILDING HEIGHT	35 Ft	31 FT (PROPOSED MAINTENANCE BLDG)
MAXIMUM % LOT COVERED BY BUILDINGS	30 %	0.69 %



LOCUS
SCALE: 1"=400'

- NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE SITE LAYOUT AND FEATURES OF THE POOL AREA OF JELLYSTONE PARK.
 - TOTAL LAND AREA DISTURBED WITH THIS PROJECT: 76,000± SF.
 - THE 100' WETLAND OFFSET AND 65' WETLAND BUFFER ARE BASED ON PLAN OF REFERENCE.
 - ALL WORK TO CONFORM TO THE TOWN OF CARVER STANDARDS.
 - PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO VERIFY THAT THEY HAVE THE MOST RECENT SET OF PLANS. ALL WORK IS TO BE PERFORMED USING A COMPLETE SET OF PLANS AS SOME ITEMS ARE NOT SHOWN ON EVERY SHEET.
 - THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY IF CONDITIONS ARE FOUND THAT DO NOT MATCH WHAT IS SHOWN ON THESE PLANS.
 - ALL DISTURBED AREAS TO BE DRESSED WITH 4" OF LOAM AND SEED UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING APPROPRIATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH MA DEP AND US EPA BEST MANAGEMENT PRACTICES.
 - ALL UNDERGROUND UTILITIES, IF SHOWN, ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION.
 - POOLS, POOL DECK, AND MECHANICAL BUILDING SHOWN ON THESE PLANS FOR REFERENCE ONLY. REFER TO AQUATIC DESIGN GROUP DESIGN PLANS FOR THESE ITEMS.
 - LIGHTING NOTE: THE INTENT OF THE CAMPGROUND IS TO HAVE LIMITED ARTIFICIAL OUTDOOR LIGHTING IN KEEPING WITH THE CAMPING EXPERIENCE. OUTDOOR LIGHTING SHALL BE DARK SKY APPROVED WITH FULL CUT-OFF FIXTURES.
 - ALL BACKWASH FROM POOL FILTRATION SYSTEM IS TO BE DISCHARGED TO THE BACKWASH HOLDING TANK AND PUMPED TO A DRYWELL. THIS REQUIRES UIC REGISTRATION WITH MASSDEP.
 - ALL HOSE BIBS ARE TO HAVE VACUUM BREAKER INSTALLED MEETING ASSE#1011.



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SCALE: 1"= 20'



No.	Revision	Date
Designed by: JRB	Drawn by: JRB	Checked by: DMF

Site Plan - Pool Area
Jellystone Park Cranberry Acres
20 Shoestring Road
Carver, MA
Assessors Map 124 Lot 13, Map 125 Lot 3A



183 Rockingham Rd, Unit 3 East
Windham, NH 03087

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Date: 9/20/2022



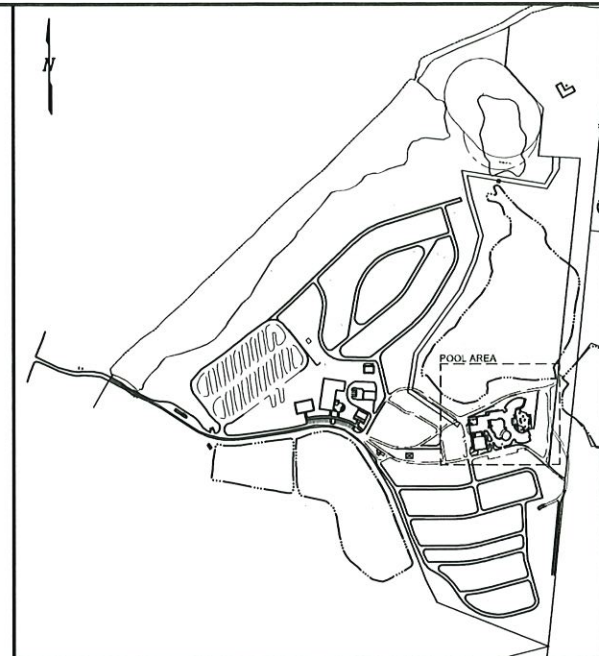
Prepared for:
NGR Cape Cod, LLC
38 Commerce Ave. SW
Suite 200
Grand Rapids, MI 49503

Zoning Classification: Residential Agricultural

SITE PLAN APPROVAL

DATE: _____

CARVER PLANNING BOARD



LOCUS
SCALE: 1"=400'

NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE GRADING, STORMWATER, AND UTILITY DESIGN OF THE POOL AREA OF JELLYSTONE PARK.
2. VERTICAL DATUM: UNKNOWN
TAKEN FROM EXISTING WEBBY SURVEY CONTROL POINTS.
3. THE 100' WETLAND OFFSET AND 65' WETLAND BUFFER ARE BASED ON PLAN OF REFERENCE.
4. ALL WORK TO CONFORM TO THE TOWN OF CARVER STANDARDS.
5. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO VERIFY THAT THEY HAVE THE MOST RECENT SET OF PLANS. ALL WORK IS TO BE PERFORMED USING A COMPLETE SET OF PLANS AS SOME ITEMS ARE NOT SHOWN ON EVERY SHEET.
6. THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY IF CONDITIONS ARE FOUND THAT DO NOT MATCH WHAT IS SHOWN ON THESE PLANS.
7. ALL DISTURBED AREAS TO BE DRESSED WITH 4" OF LOAM AND SEED UNLESS OTHERWISE SPECIFIED.
8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING APPROPRIATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH MAEPD AND US EPA BEST MANAGEMENT PRACTICES.
9. ALL STRUCTURES TO HAVE RIM SET AT FINISH GRADE REGARDLESS OF STATED RIM DATA.
10. ALL SLOPES GREATER THAN 3:1 SHALL HAVE ROLLED EROSION CONTROL BLANKET INSTALLED. SEE DETAIL ON EROSION CONTROL DETAILS PLAN. PLANT SLOPES STEEPER THAN 3:1 WITH WILDFLOWER MIX.
11. ALL UNDERGROUND UTILITIES, IF SHOWN, ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION.



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SCALE: 1"= 20'
0 10' 20' 40' 60'

No.	Revision	Date
Designed by: JRB	Drawn by: JRB	Checked by: DMF

Grading & Utility Plan - Pool Area
Jellystone Park Cranberry Acres
20 Shoestring Road
Carver, MA
Assessors Map 124 Lot 13, Map 125 Lot 3A



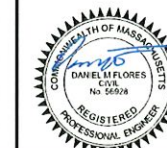
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Sheet 5 of 9

Scale: 1" = 20'

Date: 9/20/2022



Prepared for:
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Zoning Classification: Residential Agricultural

SITE PLAN APPROVAL

DATE:

CARVER PLANNING BOARD



TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED IN ACCORDANCE WITH MASSACHUSETTS STORMWATER HANDBOOK:

- (a) SEDIMENT TRAPS SHOULD BE LOCATED SO THAT THEY CAN BE INSTALLED PRIOR TO DISTURBING THE EARTH SURFACE TO BE PROTECTED.
- (b) THE MAXIMUM HEIGHT OF THE SEDIMENT TRAP EMBANKMENT SHOULD BE 4 FEET WHEN MEASURED FROM THE LOWEST POINT OF NATURAL GROUND ON THE DOWNSTREAM SIDE OF THE EMBANKMENT.
- (c) OUTLETS SHOULD BE DESIGNED SO THAT THE TOP OF THE EMBANKMENT IS AT LEAST 1 FOOT ABOVE THE DESIGN FLOOD ELEVATION OF THE OUTLET.
- (d) THE OUTLET SHOULD DISCHARGE TO A STABILIZED AREA AND MUST EMPTY INTO UNDISTURBED GROUND, INTO A WATERCOURSE, STABILIZED CHANNEL OR A STORM SEWER SYSTEM.



1. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHOULD BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE AND STABILIZED. THE EXIT SHOULD THEN BE RECONSTRUCTED.
2. THE CONTRACTOR SHOULD SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
3. WHEN WHEEL WASHING IS REQUIRED, IT SHOULD BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

1. ALL MATERIAL TO MEET FILTREX™ SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTER BERM IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
3. WHERE THE BERM REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED.
4. THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE BERM WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE BERM, OR AS DIRECTED BY THE ENGINEER.
5. THE COMPOST FILTER BERM WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

TYPICAL BERM FOR MINIMAL GRADES SHOWN
FOR STEEPER GRADES, I.E. 2:1 SLOPES
INCREASE BERM SIZE AS DETERMINED ON
SITE BY ENGINEER.



	PER ACRE BUSHELS (BU) OR POUNDS (LBS)	PER 1,000 SF	REMARKS
WINTER RYE	2 BU OR 112 LBS	25 LBS	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
OATS	2.5 BU OR 80 LBS	2 LBS	BEST FOR SPRING SEEDING. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTIONS. SEED TO A DEPTH OF 1 INCH.
ANNUAL RYEGRASS	40 LBS	1 LB	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL.
PERENNIAL RYEGRASS	30 LBS	0.7 LB	GOOD COVER WHICH IS LONGER LASTING THAN ANNUAL RYEGRASS. SEED BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. MULCHING WILL ALLOW SEEDING THROUGHOUT THE GROWING SEASON. SEED TO A DEPTH OF APPROXIMATELY 0.5 INCH.

Zoning Classification: Residential Agriculture



CARVER PLANNING BOARD

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BERM CONSTRUCTION CRITERIA

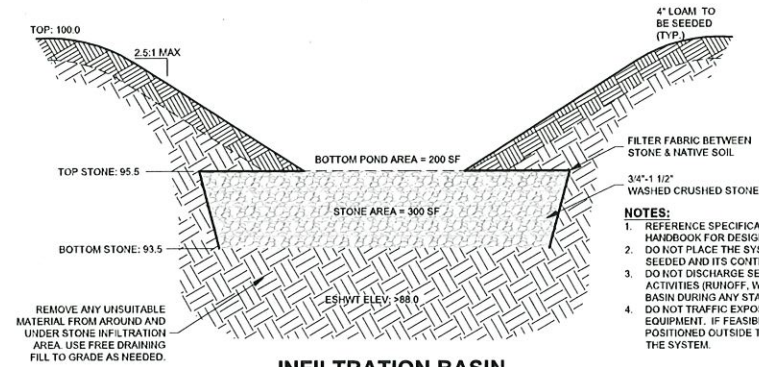
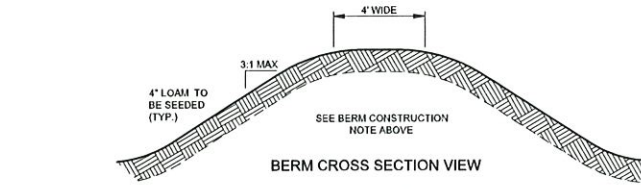
- FOUNDATION PREPARATION:**
THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH, TO ESTABLISH VEGETATION. THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED BERM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BOND TO THE FOUNDATIONS. FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.
- FILL PLACEMENT:**
THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.

THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF 6" MAXIMUM COURSES AND COMPACT TO 95% MODIFIED PROCTOR (ASTM D1557). THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE GRADINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.

THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL:**
THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING 95% COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION:**
CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE 95% COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.
- PROTECTION:**
A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL OR CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH AS MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION.

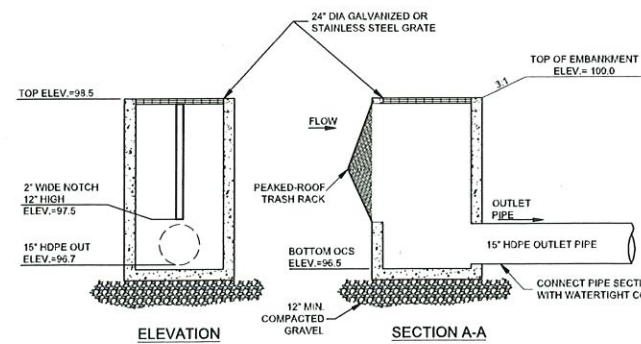
BERM MAINTENANCE

- BERM:** THE BERM SHALL BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- VEGETATION:** THE VEGETATED AREAS OF THE STRUCTURE SHALL BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LINE AND FERTILIZER SHALL BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHALL BE KEPT OFF THE EMBANKMENT AREAS.
- INLETS:** INLETS SHALL BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHALL BE REMOVED.
- OUTLETS:** OUTLETS SHALL BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE OUTLET SHALL BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHALL BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
- SEDIMENT:** SEDIMENT SHALL BE CONTINUALLY CHECKED IN THE BASIN. ANY SEDIMENT THAT ACCUMULATES IN FRONT OF THE INLET SHALL BE REMOVED AND PROPERLY DISPOSED OF.



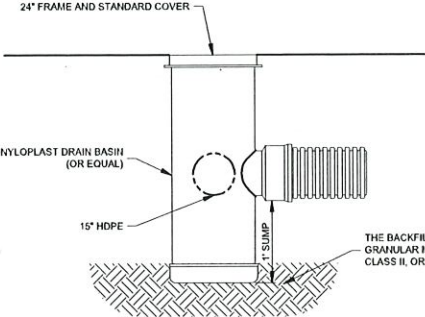
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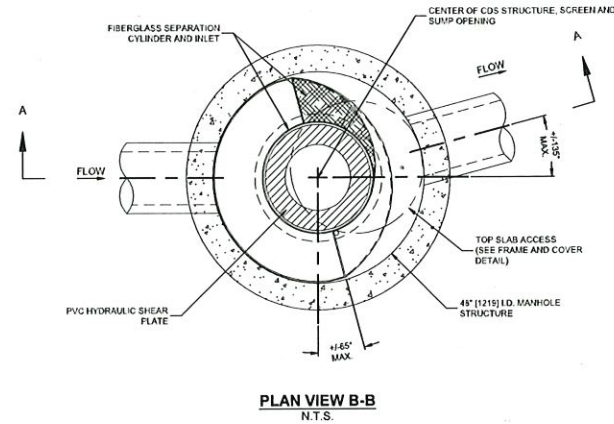
OUTLET CONTROL STRUCTURE

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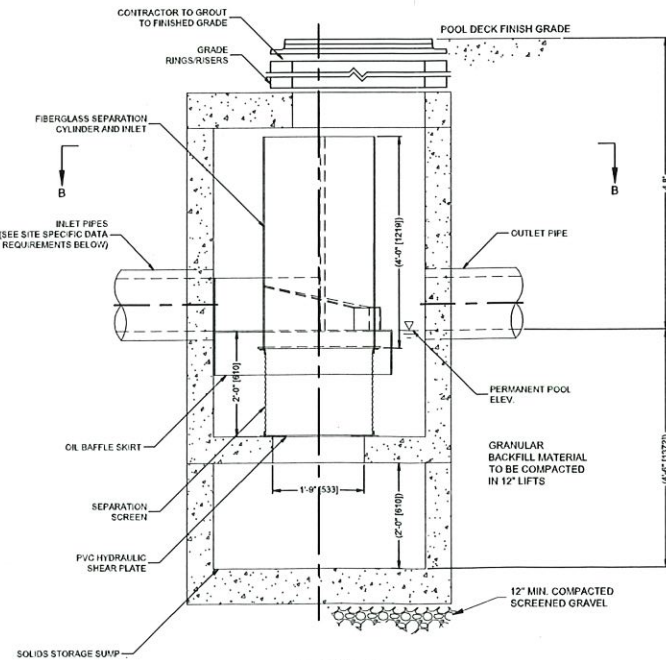
DRAIN MANHOLE DETAIL

NOT TO SCALE



PLAN VIEW B-B

N.T.S.

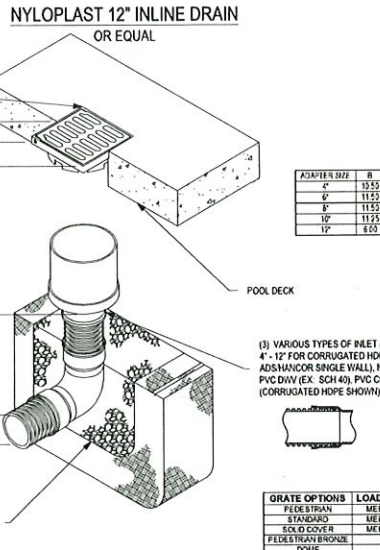


ELEVATION A-A

N.T.S.

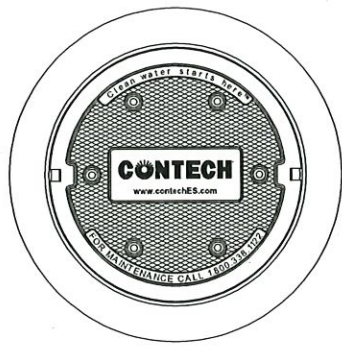
CDS-2015 DETAIL

NOT TO SCALE



INLINE DRAIN DETAIL

NOT TO SCALE



FRAME AND COVER

(DIAMETER VARIES)

N.T.S.

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contech-es.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET ASHOTO H520 AND CASTINGS SHALL MEET H520 (ASHOTO M 300) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

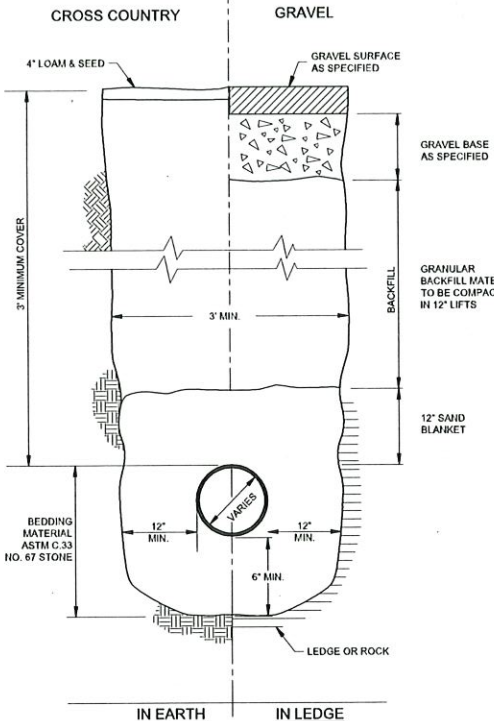
SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	2015-64
WATER QUALITY FLOW RATE (CFS OR L/S)	0.6 CFS
PEAK FLOW RATE (CFS OR L/S)	0.6 CFS
RETURN PERIOD OF PEAK FLOW (YRS)	1 YEAR
SCREEN APERTURE (2400 OR 4700)	2400
PIPE DATA	
INLET PIPE 1	15" HDPE
INLET PIPE 2	15" HDPE
OUTLET PIPE	15" HDPE
R/W ELEVATION	100.0
ANTI-FLOTATION BALLAST	
NOTES/SPECIAL REQUIREMENTS	
	*NOT APPLICABLE

SITE PLAN APPROVAL

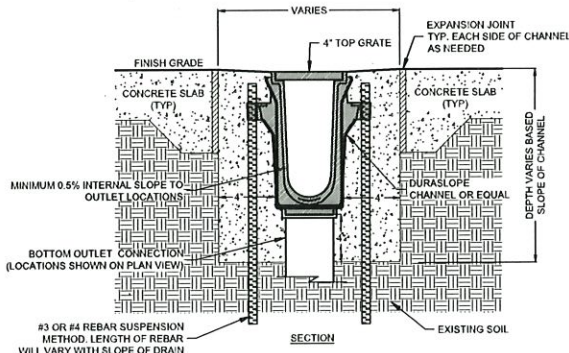
DATE:

CARVER PLANNING BOARD



TYPICAL TRENCH SECTION FOR STORM DRAIN

NOT TO SCALE



TRENCH DRAIN DETAIL

NOT TO SCALE

No.	Revision	Date
1	Designed by: DMF	Drawn by: DMF
2	Checked by:	

Construction Details - Pool Area
Jellystone Park Cranberry Acres
20 Shoestring Road
Carver, MA
Assessors Map 124 Lot 13, Map 125 Lot 3A



183 Rockingham Rd, Unit 3 East
Windham, NH 03087

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Sheet 8 of 9

Scale: As Shown

Date: 9/20/2022

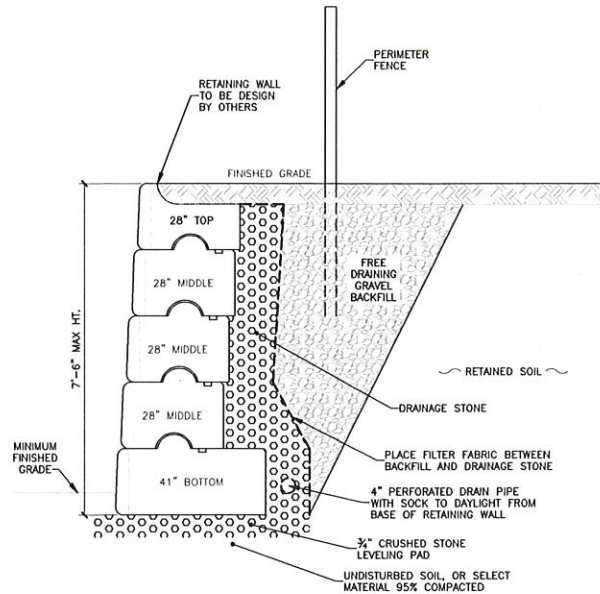


Prepared for:
NGR Cape Cod, LLC
38 Commerce Ave. SW
Suite 200
Grand Rapids, MI 49503

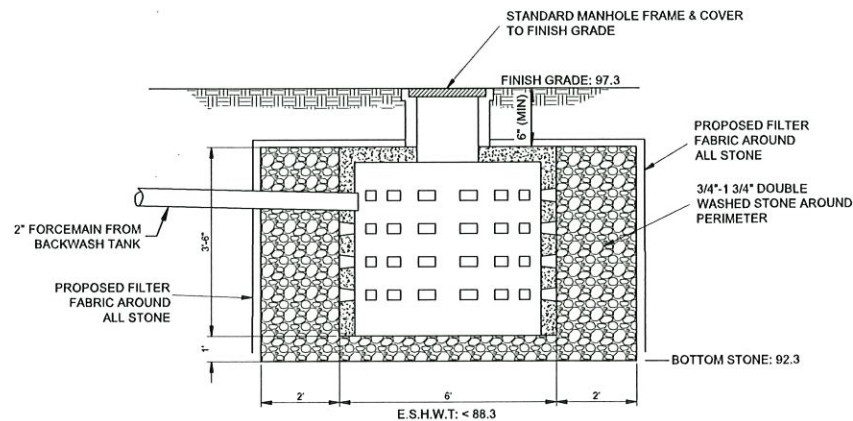
Zoning Classification: Residential Agricultural

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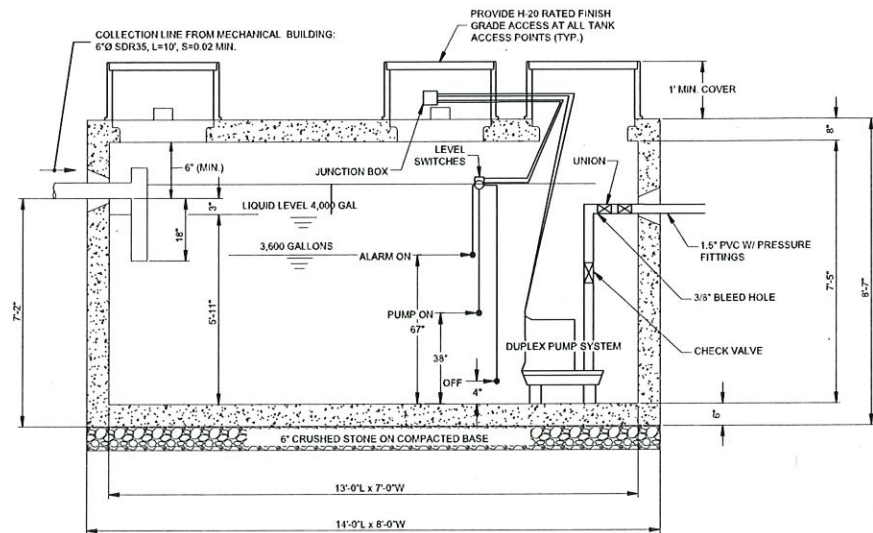
Revised: 8/20/2022 10:45 AM Project: 2015-64 Construction Details



TYPICAL RETAINING WALL DETAIL
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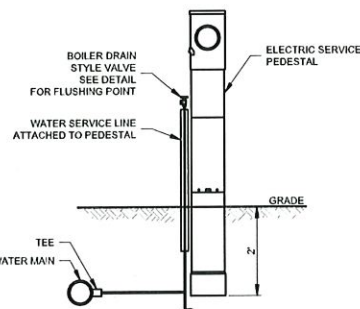


BACKWASH DRYWELL DETAIL
NOT TO SCALE



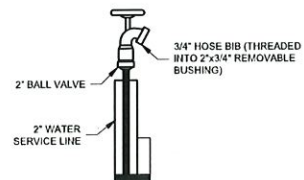
POOL BACKWASH TANK
NOT TO SCALE

PUMP STATION	
PUMP MODEL #	ZOELLER 161
FINISH GRADE	92.0
DESIGN FLOW	1,950 GPD
PUMP:	ZOELLER 161
HORSE POWER	1/2
VOLTS	115
PHASE	1
MAX. AMPS	15
HEAD:	
STATIC	13.08'
FRICTION LOSS	26.18'
TOTAL	29.26'
CALCD PERFORMANCE	48 GPM
EFFLUENT VELOCITY	6.79 FPS
CYCLES PER DAY	1
DOSE VOLUME	1,950 GAL
GAL PER FT IN CHAMBER	681 GAL/FT

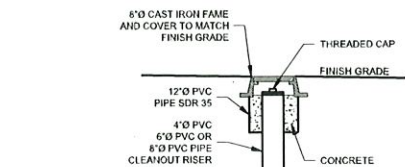


- NOTES:**
- ELECTRIC PEDESTAL TO BE NEMA TYPE 3R WITH RAIN PROOF ENCLOSURE (PRODUCT 26-RL-123 BY JAMESTOWN ADVANCED PRODUCTS CORP. OR APPROVED BY OWNER)
 - WATER SERVICE LINE SHALL BE 2" SCH. 40 PVC AT FLUSHING POINTS, 3/4" SCH. 40 PVC AT ALL OTHER LOCATIONS

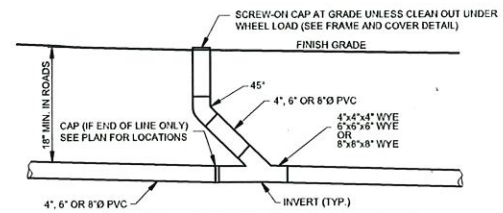
WATER/ELECTRIC SERVICE PEDESTAL DETAIL
NOT TO SCALE



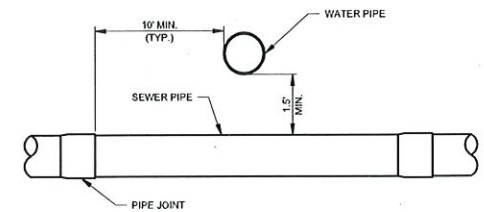
FLUSHING POINT DETAIL
NOT TO SCALE



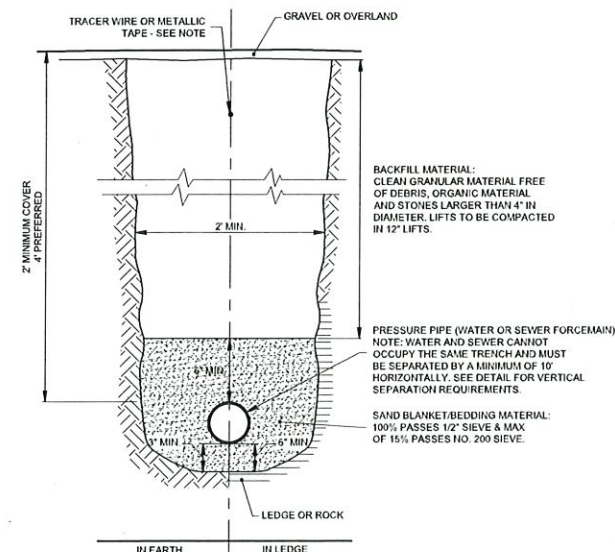
CLEANOUT FRAME & COVER DETAIL
NOT TO SCALE



TYPICAL SEWER CLEANOUT / STAND PIPE
NOT TO SCALE

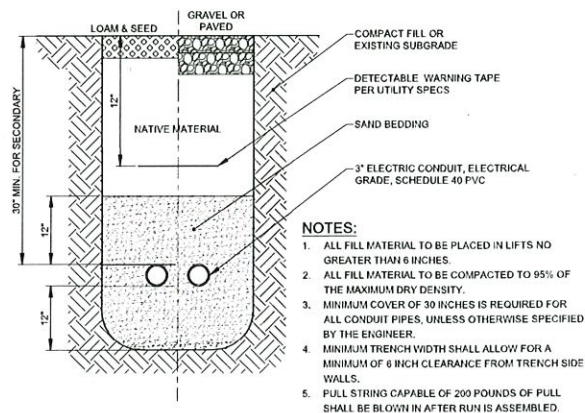


WATER/SEWER LINE CROSSING
NOT TO SCALE

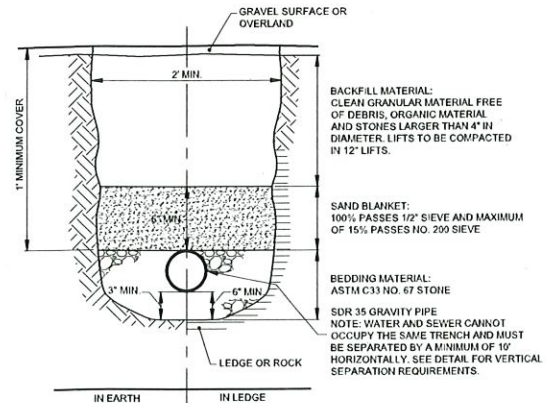


- NOTES:**
- MINIMUM COVER LISTED IS FOR SEASONAL USE. PRESSURE PIPES MUST BE DRAINED TO PREVENT FREEZING IF COVER IS LESS THAN 4\"/>

PRESSURE PIPE TRENCH DETAIL
NOT TO SCALE



ELECTRIC & COMMUNICATION TRENCH
NOT TO SCALE



GRAVITY PIPE TRENCH DETAIL
NOT TO SCALE

SITE PLAN APPROVAL

DATE: _____

CARVER PLANNING BOARD

No.	Revision	Drawn by: DMF	Checked by:
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Construction Details - Pool Area
Jellystone Park Cranberry Acres
20 Shoestring Road
Carver, MA
Assessors Map 124 Lot 13, Map 125 Lot 3A



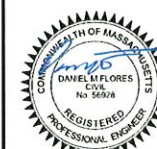
183 Rockingham Rd, Unit 3 East
Windham, NH 03087

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Sheet 9 of 9

Scale: As Shown

Date: 9/20/2022



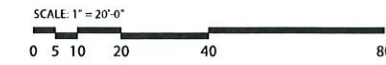
Prepared for:
NGR Cape Cod, LLC
38 Commerce Ave. SW
Suite 200
Grand Rapids, MI 49503

Zoning Classification: Residential Agricultural



LANDSCAPE LEGEND		
SYMBOL	DESCRIPTION	QTY.
	GROUND COVER - SOD OR SIMILAR	9,150 SF
	CRUSHED SHELLS LANDSCAPE	3,220 SF
	LARGE RIVER ROCK	3,815 SF
	CRUSHED GRAVEL 12"W x 12"D PERIMETER AROUND PAVING	635 SF
	TREES - 3" CALIPER DECIDUOUS - MAPLE OR SIMILAR	4
	SHRUBS 2 GALLON BOXWOOD SHRUB OR SIMILAR	65
	SUMMER FLOWERING SHRUB	35
	PERENNIAL FLOWERS	35

RESORT POOL LANDSCAPE PLAN
SCALE: 1" = 20'-0"



ALL DRAWINGS AND DIMENSIONS ARE FOR CONCEPTUAL DESIGN INTENT ONLY. NOT FOR CONSTRUCTION.

SUBMISSION:
1. 08.28.22 PRELIMINARY REVIEW
1. 08.28.22 BDR DESIGN DEVELOPMENT
1. 09.21.22 REVISION
1. 09.22.22 REVISION

JELLYSTONE PARK CAMP RESORT
POOL DESIGN DEVELOPMENT
CARVER, MASSACHUSETTES

BDR

DESIGN GROUP
28 CENTRAL PARKWAY WEST
CINCINNATI, OHIO 45202
513-651-9100
FAX 513-651-9101

LANDSC/
PLAN

SCALE: 1"
DATE: JULY 28, 2022
DRAWN BY:
CHECKED BY: BDR
JOB # 222114
SHEET #
DD-1
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