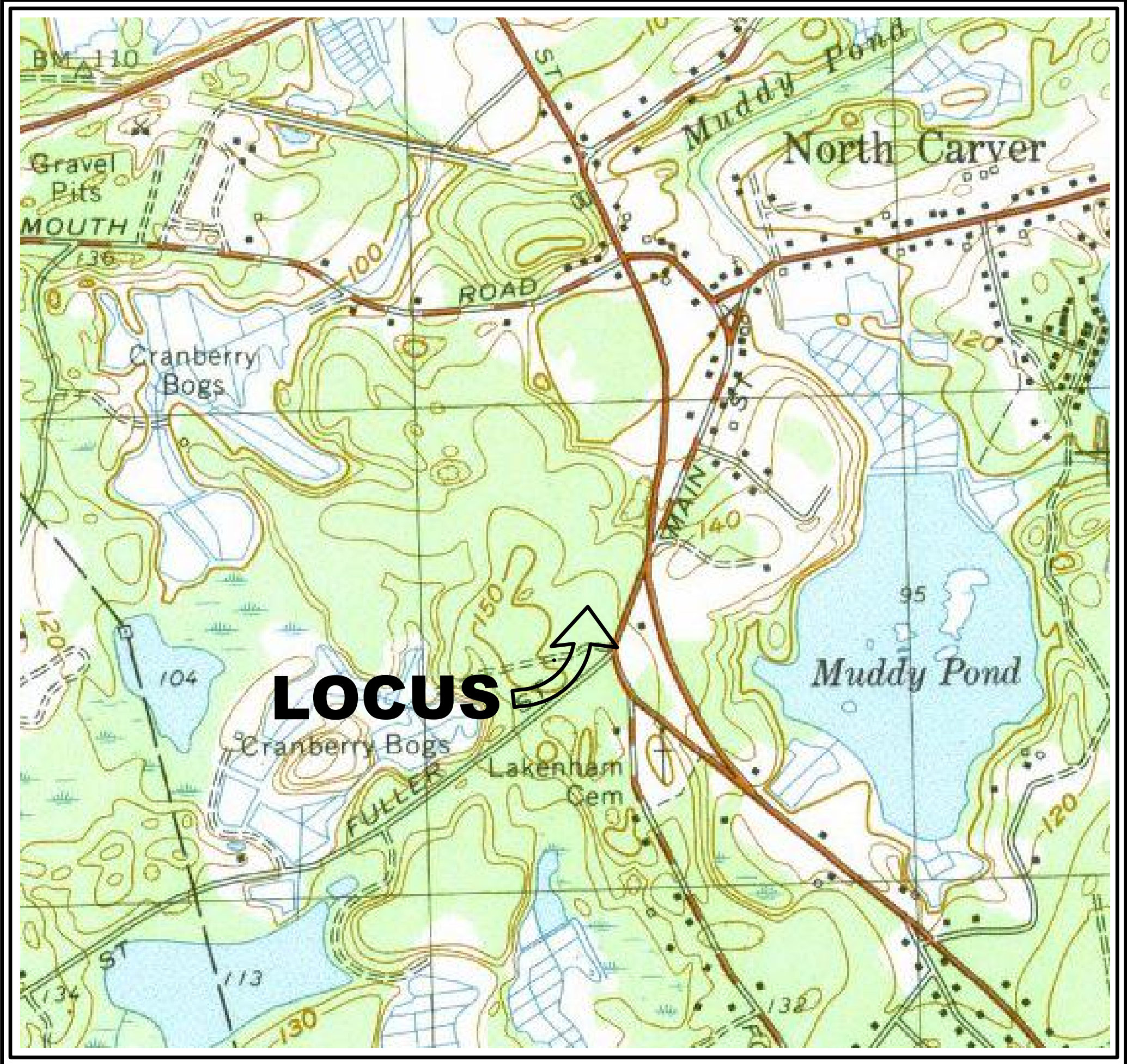


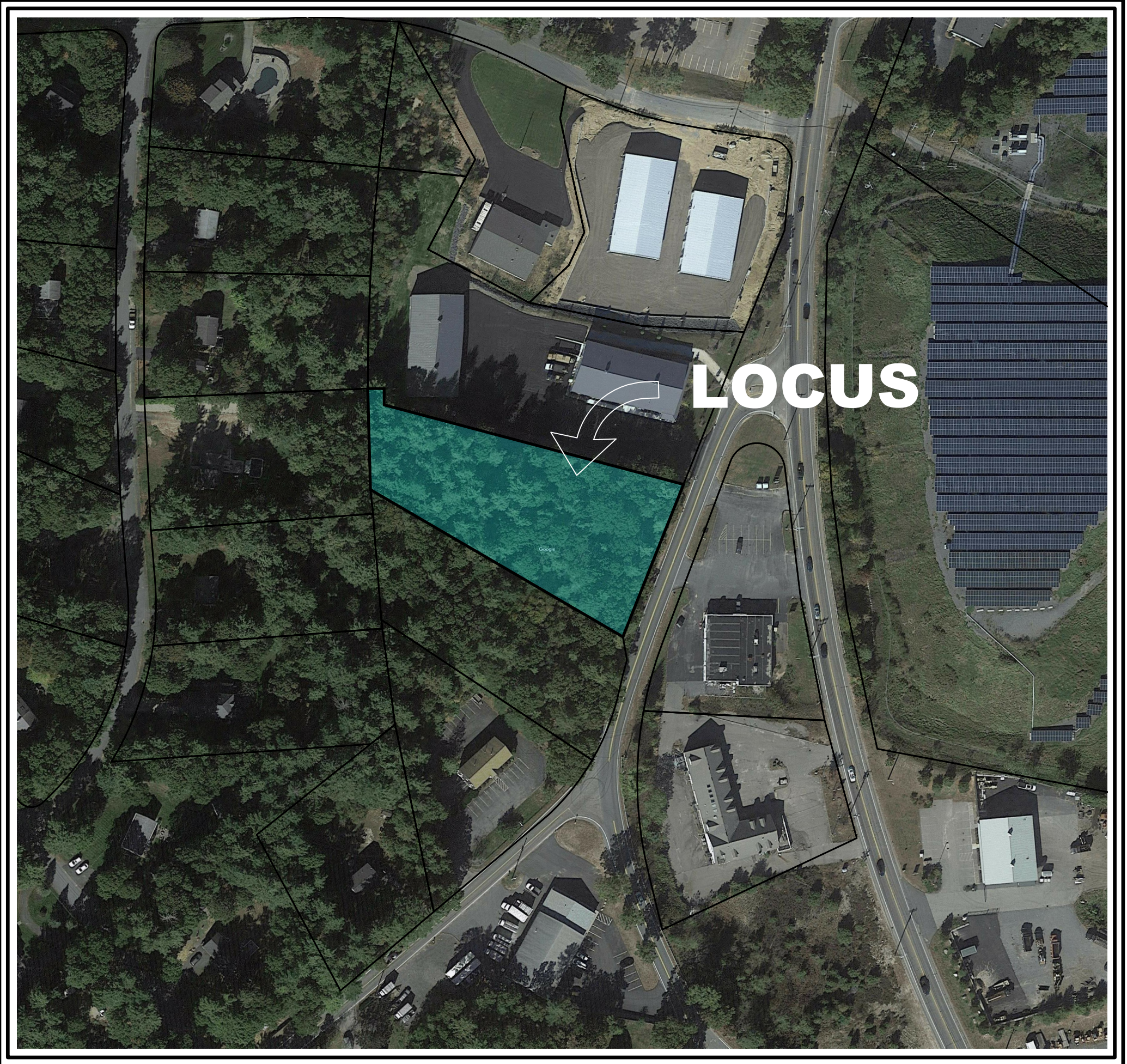
# SITE PLAN

## COMMERCIAL DEVELOPMENT

### 0 FOREST STREET (MAP 49, BLOCK 62, LOT 7-R) , CARVER, MA



LOCUS MAP  
NOT TO SCALE



AERIAL MAP  
NOT TO SCALE

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#### TOWN OF CARVER PLANNING BOARD:

SITE PLAN APPROVAL

DATE APPROVED:

DATE ENDORSED:

**OWNER(S):**  
CARVER HOMES, INC,  
25 MAGOUN PATH  
MARSHFIELD, MA

**APPLICANT:**  
PRIOLO CONCRETE FORMS, INC  
233 PEMBROKE STREET  
KINGSTON, MA 02364

#### PREPARED BY:

**RiverHawk**  
ENVIRONMENTAL  
CIVIL ENGINEERING & ENVIRONMENTAL CONSULTING  
2183 OCEAN STREET, MARSHFIELD, MA 02050  
781-536-4639 [www.RiverHawkLLC.com](http://www.RiverHawkLLC.com)

PREPARED JUNE 9, 2022  
REVISED SEPTEMBER 13, 2022

LEGEND					
DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED
CATCH BASINS			INTERMEDIATE CONTOUR		
SEWER MANHOLE			INDEX CONTOUR		
DRAIN MANHOLE			SPOT ELEVATIONS		
ELECTRIC MANHOLE			DRAIN LINE		
SW TREATMENT UNIT			SEWER LINE		
GAS GATE			WATER LINE		
WATER GATE			GAS LINE		
FIRE HYDRANT			ELECTRICAL LINE		
POWER POLE			200' RIVERFRONT AREA		
CHAIN LINK FENCE			100' RIVERFRONT AREA		
STOCKADE FENCE			100' BUFFER ZONE		
OVERHEAD WIRES			50' BUFFER ZONE		
LIGHT POLE			30' BUFFER ZONE		
			LIMIT OF FLOOD ZONE AE		
			WETLAND FLAG		



**CURRENT OWNER**

MARSHFIELD, MA 02050

CURRENT APPLICANT  
PRIOLO CONCRETE FORMS, INC.

233 PEMBROKE STREET

MAP 49, BLOCK 62, LOT 7-R

MAP 49, BLOCK 62, LOT 7-R

BOOK 9563, PAGE 77 (PLYMOUTH COUNTY REGISTRY OF DEEDS)

BOOK 9563, PAGE 77 (PLYMOUTH COUNTY REGISTRY OF DEEDS)

**ZONING DISTRICT(S)**

GENERAL BUSINESS

FLOOD PLAIN - ZONE X

FLOOD PLAIN - ZONE X

**HORIZONTAL DATUM:**

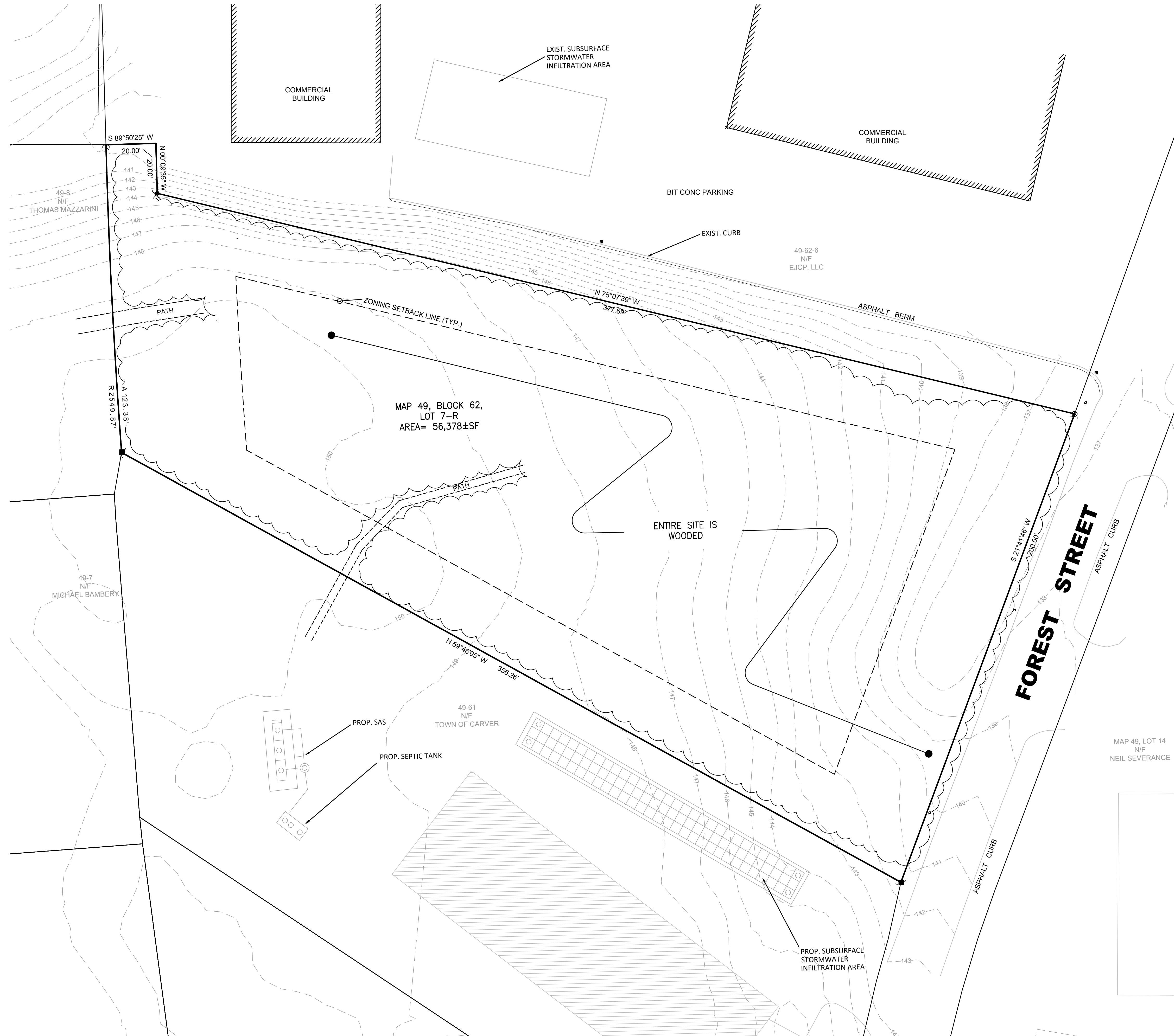
HORIZONTAL DATUM:  
NAD83 MA MAINLAND

## NAVD88

NAVD88

1. EXISTING CONDITIONS PLAN & PROPERTY LINES SHOWN

- ARE BASED ON AN ON-THE-GROUND SURVEY CONDUCTED BY RIVER HAWK LAND SURVEY, LLC (RHLS) IN JUNE 2022. EXISTING TOPOGRAPHY OFF-SITE FROM 2011 LIDAR DATA

[illegible]



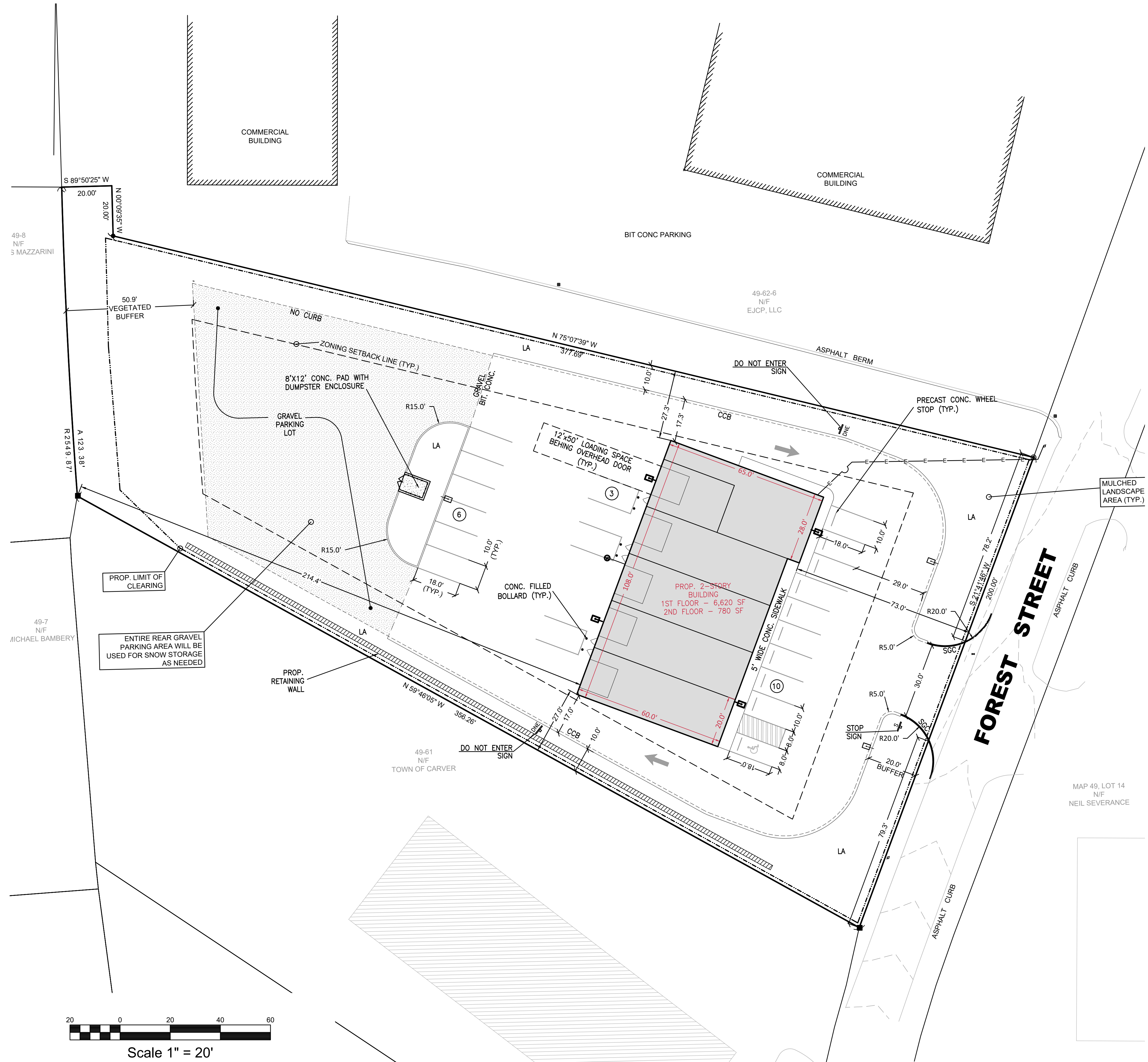
PARCEL ID: 49-68-7-R  
TOTAL AREA: 56,378± S.F. (1.29± ACRES)  
ZONING DISTRICT: GENERAL BUSINESS

ITEM:	REQUIRED	PROPOSED
LOT AREA (SF)	40,000	56,378±
FRONTAGE (FT)	200	200.00
FRONT SETBACK (FT)	40	73.0
SIDE SETBACK (FT)	25	27.3 & 27.0
REAR SETBACK (FT)	25	214.4
BLDG. COVERAGE (%)	50	11.7

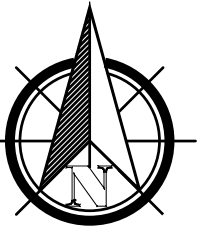
ITEM:	REQ'D PER UNIT	PROPOSED	MIN. REQ'D
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ADA SPACES PROVIDED ON-SITE: 1 (VAN ACCESSIBLE)

1. A WAIVER FROM SECTION 3131(g) WHICH REQUIRES THAT TREES WITH GREATER THAN 10" CALIPER BE SHOWN ON THE PLANS IS REQUESTED. IN ORDER TO ACCOMMODATE THE PROPOSED DEVELOPMENT, MOST OF THE SITE WILL BE CLEARED.



1. ALL STREET SIGNS AND PAVEMENT MARKINGS SHALL ADHERE TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
2. ALL WHEELCHAIR RAMPS AND CROSSWALKS SHALL BE ADA COMPLIANT.
3. THE PARKING LOT AND ENTRANCE/EXIT DRIVES ARE HOT MIX ASPHALT (HMA), UNLESS SPECIFIED OTHERWISE.

[illegible]

PRIOLO CONCRETE FORMS, INC.  
233 PEMBROKE STREET  
KINGSTON, MA 02364

09/13/2022



**RiverHawk**  
ENVIRONMENTAL  
CIVIL ENGINEERING & ENVIRONMENTAL CONSULTING

2133 OCEAN STREET, MARSHFIELD, MA 02050  
 781-536-4639 [www.RiverHawkLLC.com](http://www.RiverHawkLLC.com)

WON BY:	DESIGNED BY:	CHECKED BY:	APPROVED BY:
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COMMERCIAL DEVELOPMENT  
0 FOREST STREET  
MAP 49, BLOCK 62, LOT 7-R  
CARVER, MA

# SITE LAYOUT PLAN

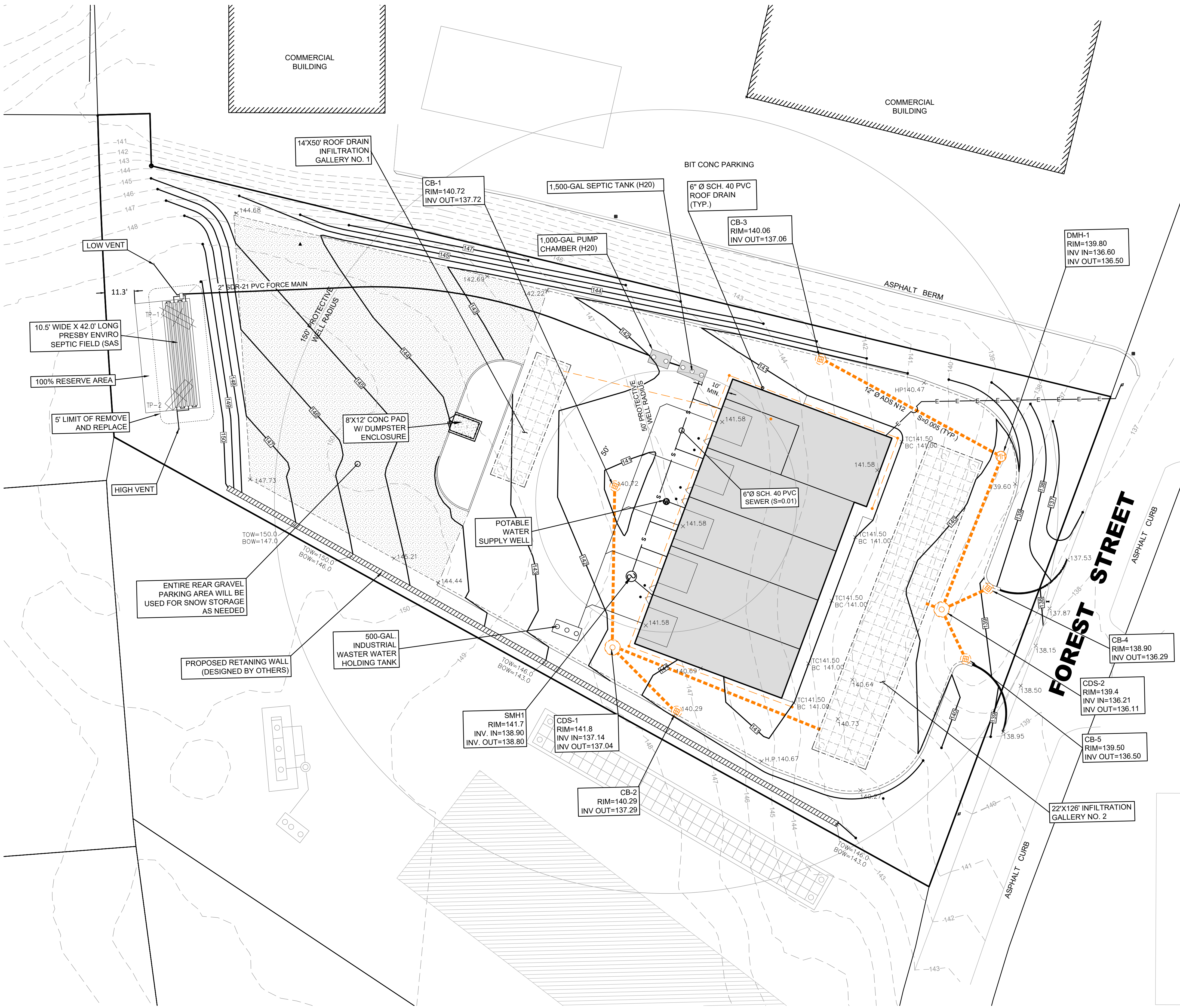
DATE:	PROJECT NO.	SCALE:
JUNE 9, 2022	00488-01-01	AS SHOWN

## SP1.1



NOTES:

- ALL SITE WORK SHALL MEET OR EXCEED THE SITE SPECIFICATIONS PREPARED THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE OWNER PRIOR TO ANY SITE WORK WHICH WOULD BE AFFECTED.
- NO CERTIFICATION IS MADE AS TO THE EXISTENCE OR NON EXISTENCE OF ANY SUBSURFACE STRUCTURE/UTILITY NOT VISIBLE AND EVIDENCED FROM THE GROUND SURFACE.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO THE START ANY WORK.
- ALL DRAINAGE PIPE TO BE 12"Ø ADS N-12 SLOPED AT 0.005FT/FT, UNLESS SPECIFIED OTHERWISE.
- UNLESS SPECIFIED, ALL MATERIALS SHALL BE COMPLIANT WITH THE LATEST TOWN OF CARVER PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND OWNER'S ENGINEER FOR RESOLUTION.
- CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- ALL UTILITY COVERS, GRATES, ETC. TO REMAIN SHALL BE ADJUSTED TO BE FLUSH WITH THE FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS FOR STRUCTURES AND MANHOLES ARE APPROXIMATE.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- ALL SEDIMENT IS TO BE KEPT OUT OF THE PROPOSED INFILTRATION AREAS, WHICH SHALL NOT BE USED UNTIL ALL CATCH BASINS AND OTHER DRAINAGE SYSTEM APPURTENANCES ARE INSTALLED AND FUNCTIONAL.
- PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN.
- CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF FINISH SUBGRADE. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
- OTHER THAN THOSE SHOWN, THERE ARE NO SEPTIC SYSTEMS WITHIN 200' OF THE PROPOSED WELL.
- OTHER THAN THOSE SHOWN, THERE ARE NO SUBSURFACE DRAINS WITHIN 100' OF THE PROPOSED SAS.
- OTHER THAN THOSE SHOWN, THERE ARE NO WELLS WITHIN 200' OF THE PROPOSED SEPTIC SYSTEM.



Scale 1" = 20'

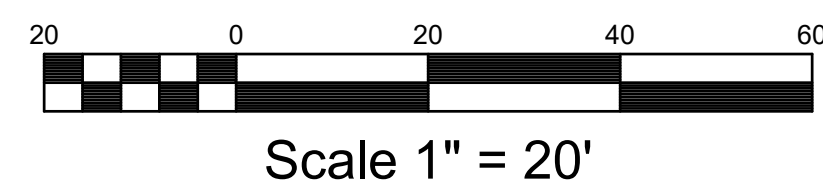
DATE: JUNE 9, 2022		PROJECT NO. 00488-01-01	SCALE: AS SHOWN	DRAWN BY: HRR		DESIGNED BY: RSR	CHECKED BY: RSR	APPROVED BY: RSR	09/13/2022		PRILO CONCRETE FORMS, INC. 233 PEMBROKE STREET KINGSTON, MA 02364				RSR RSR BY APP		
COMMERCIAL DEVELOPMENT 0 FOREST STREET MAP 49, BLOCK 62, LOT 7-R CARVER, MA		GRADING & UTILITY PLAN		RiverHawk ENVIRONMENTAL CIVIL ENGINEERING & ENVIRONMENTAL CONSULTING 2183 OCEAN STREET, MARSHFIELD, MA 02050 781-535-4639 www.riverhawkllc.com		DESIGNED BY: RSR		CHECKED BY: RSR	APPROVED BY: RSR	09/13/2022		PRILO CONCRETE FORMS, INC. 233 PEMBROKE STREET KINGSTON, MA 02364				RSR RSR BY APP	
DATE: JUNE 9, 2022		PROJECT NO. 00488-01-01	SCALE: AS SHOWN	DRAWN BY: HRR		DESIGNED BY: RSR	CHECKED BY: RSR	APPROVED BY: RSR	09/13/2022		PRILO CONCRETE FORMS, INC. 233 PEMBROKE STREET KINGSTON, MA 02364				RSR RSR BY APP		





THE CONTRACTOR IS RESPONSIBLE TO CONTROL EROSION AND SEDIMENTATION DURING CONSTRUCTION. IT IS INTENDED THAT THE IMPLEMENTATION OF THE FOLLOWING MEASURES WILL MEET THIS GOAL. WHEN IT IS CLEAR TO THE DESIGNER THAT EROSION AND SEDIMENTATION HAVE BEEN ADEQUATELY CONTROLLED WITHOUT THE IMPLEMENTATION OF EVERY MEASURE, ADDITIONAL MEASURES NEED NOT BE IMPLEMENTED. ALTERNATIVELY, IF ALL OF THE FOLLOWING MEASURES HAVE BEEN IMPLEMENTED AND THE CONTROL OF EROSION AND SEDIMENTATION IS INADEQUATE, THE CONTRACTOR MUST EMPLOY SUFFICIENT SUPPLEMENTAL MEASURES BEYOND THE SCOPE OF THIS PLAN.

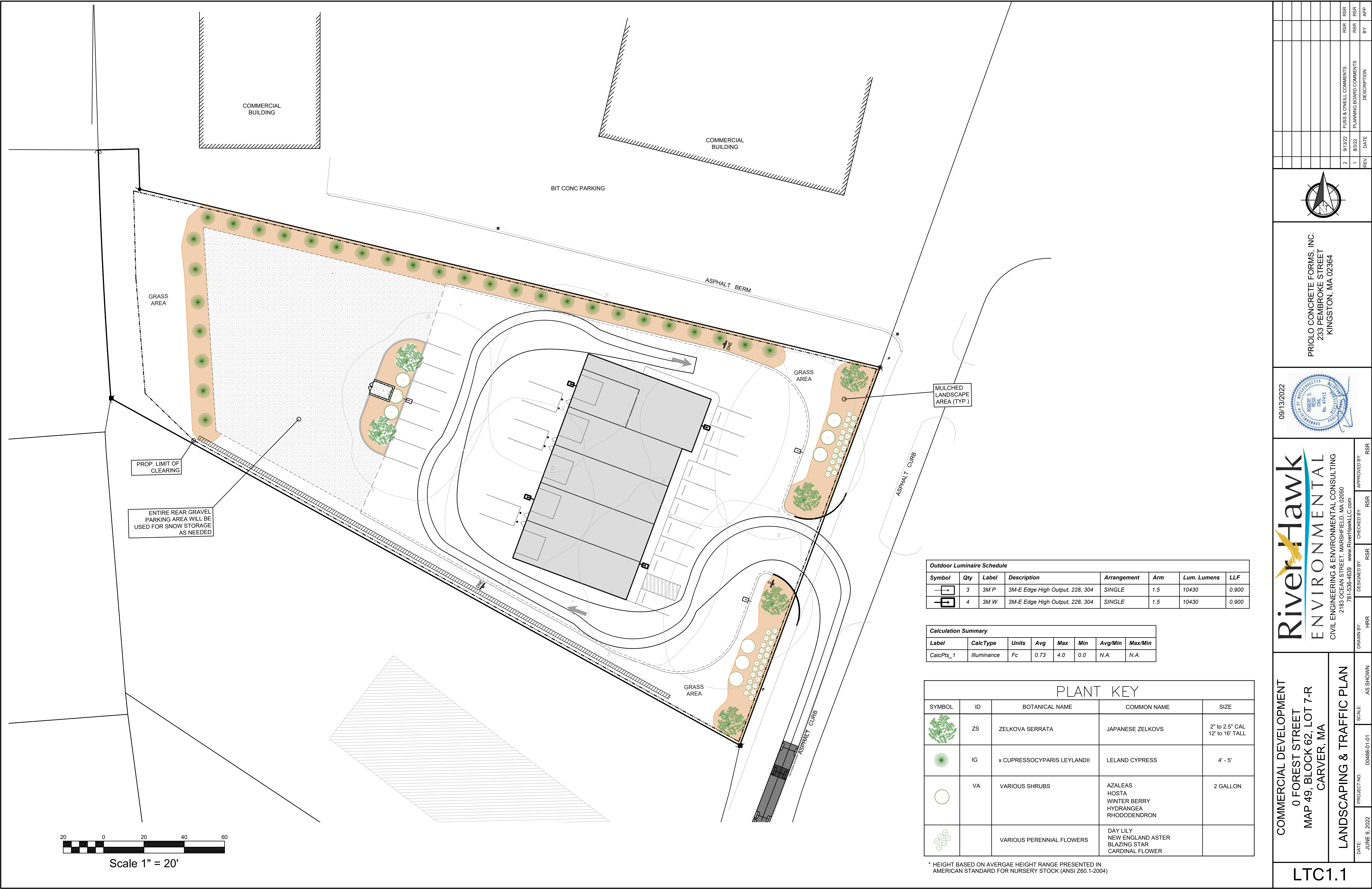
1. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED PRIOR TO START OF DEMOLITION OR CONSTRUCTION. STABILIZATION OF ALL RE-GRADED AND SOIL STOCKPILE AREAS MUST BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL MUNICIPAL REGULATIONS, THE USEPA 2022 CONSTRUCTION GENERAL PERMIT, AND MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION. A STAKED HAYBALE DAM SHALL BE INSTALLED DOWN GRADIENT OF ALL DRAINAGE OUTFALLS.
3. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE OWNER OR AGENTS OF THE OWNER. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL EROSION CONTROL MATERIALS FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
4. PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE USEPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS, AND THEIR SPECIFIC RESPONSIBILITIES UNDER THE PERMIT. AT A MINIMUM PERSONNEL MUST BE TRAINED AND UNDERSTAND THE REQUIREMENTS OF THE PERMIT. THE CONTRACTOR SHALL DETERMINE HOW TO MAINTAIN THEM, PROCEDURES FOR COMPLYING WITH THE POLLUTION PREVENTION REQUIREMENTS, PROCEDURES FOR CONDUCTING INSPECTIONS, RECORDING FINDINGS, AND TAKING CORRECTIVE ACTION.
5. CATCH BASINS (ON-SITE AND OFF-SITE WITHIN 100') WILL BE PROTECTED WITH HAYBALE FILTERS AND SILT BAG INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SILT BAGS SHOULD BE INSTALLED UNDER GRATE OPENING UNTIL PAVEMENT IS IN PLACE AND GROUND SURFACE IS STABILIZED.
6. AREAS THAT ARE NOT THE LOCATION OF ACTIVE CONSTRUCTION WHICH ARE TO BE LEFT BARE FOR OVER ONE MONTH BEFORE FINISHED GRADING AND SEEDING IS ACHIEVED, SHALL BE MULCHED OR RECEIVE TEMPORARY STABILIZATION SUCH AS TOW NETTING OR SOIL REPAIR. REPAIR A TEMPORARY RESEEDING OF PERENNIAL VEGETATION APPLIED TO A RATE OF 2 LBS./1,000 SQ. FT. LIMESTONE (EQUIVALENT TO BE 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 90 LBS./1,000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 1. AREAS TO BE LEFT BARE FOR OVER ONE MONTH BEFORE FINISHED GRADING AND SEEDING, SHALL BE LEFT BARE. BARE AREAS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COARSE MATTER.
7. STABILIZATION OF SLOPES IN CUT AREAS (USING MULCH OR GRASS) AND THE INSTALLATION OF CONTOUR LINE CUTS (OR FILTER FARRS) AT THE TOE OF SLOPE SHALL BE INITIATED WITHIN FOURTEEN (14) DAYS OF COMPLETION.
8. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN. ALL LINEAR EROSION CONTROL STRUCTURES RETAINING WATER SHALL BE REPAIRED IF SUCH STRUCTURES SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS SHALL BE REPAIRED OR REPLACED.
10. THE CONTRACTOR WILL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE CONSERVATION COMMISSION OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
11. STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO LEFT BARE FOR MORE THAN FOURTEEN (14) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF SOIL STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE PLUMED IN PLACE OF HAYBALES. SLOPE SHALL NOT EXCEED 2:1.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF THEIR CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO SPRINKLING OF WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC.
13. ADJACENT ROADS SHALL BE PERIODICALLY SWEEP OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. ALL SEDIMENT TRACKING ON ROADWAYS MUST BE REMOVED AT END OF EACH WORK DAY.
13. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN FOURTEEN (14) DAYS AFTER LAND DISTURBANCES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOILS.
14. WHERE DE-WATERING IS NECESSARY, THERE SHALL NOT BE A DISCHARGE DIRECTLY INTO WETLANDS OR WATERCOURSES. PROPER METHODS AND DEVICES SHALL BE UTILIZED TO PREVENT DISCHARGE OF EXCESSIVE SURFACIAL WATER INTO A TEMPORARY SEDIMENTATION BOWL, PROVIDING SUEP PROTECTION AT THE INLET AND THE OUTLET OF PUMPS, OR FLOATING THE INTAKE OF THE PUMP, OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS. IF A PUMPING OPERATION IS CAUSING STABILITY PROBLEMS, SUEP OPERATION SHALL CEASE UNTIL SUCH AS FEASIBLE MEANS OF CONTROLLING TURBIDITY ARE DETERMINED AND IMPLEMENTED. SUEP DISCHARGE POINTS SHALL BE LOCATED OVER ONE FOOT FROM THE DELINEATED WETLANDS AS INDICATED ON THIS PLAN.
15. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTIONS SHALL TAKE PLACE WEEKLY AND BEFORE AND AFTER EACH 1/4" RAINFALL EVENT. CONTRACTOR TO MAINTAIN ALL WEEKLY REPORTS IN CONJUNCTION WITH THE EROSION CONTROL / SUEP CONSTRUCTION MEMOS OF CORRESPONDING DATE. SUEP INSPECTION REPORTS SHALL BE PROVIDED TO THE TOWN, EPA, DEP, OR ANY OTHER AUTHORITY REQUESTING WITHIN 3 DAYS OF EACH INSPECTION.

 PROPOSED LINEAR EROSION CONTROL LINE  
 PROPOSED CATCH BASIN INLET PROTECTION



EC1.1	COMMERCIAL DEVELOPMENT 0 FOREST STREET MAP 49, BLOCK 62, LOT 7-R CARVER, MA			RiverHawk ENVIRONMENTAL CIVIL ENGINEERING & ENVIRONMENTAL CONSULTING 2183 OCEAN STREET, MARSHFIELD, MA 02050 781-556-4639 www.RiverHawkLLC.com			09/13/2022 	PRIOLO CONCRETE FORMS, INC. 233 PEMBROKE STREET KINGSTON, MA 02364						
	DATE: JUNE 9, 2022	PROJECT NO. 00488-01-01	SCALE: AS SHOWN	DRAWN BY: HRR	DESIGNED BY: HRR	CHECKED BY: RSR	APPROVED BY: RSR	2 9/13/22 FLUSS & O'NEILL COMMENTS	RSR	1 8/3/22 PLANNING BOARD COMMENTS	RSR	RSR	REV DATE DESCRIPTION BY APP	





Outdoor Luminaire Schedule							
Symbol	Qty	Label	Description	Arrangement	Arm	Lum. Lumens	LLF
	3	3M P	3M-E Edge High Output, 228, 304	SINGLE	1.5	10430	0.900
	4	3M W	3M-E Edge High Output, 228, 304	SINGLE	1.5	10430	0.900

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.73	4.0	0.0	N.A.	N.A.

PLANT KEY				
SYMBOL	ID	BOTANICAL NAME	COMMON NAME	SIZE
	ZS	ZELKOVA SERRATA	JAPANESE ZELKOVS	2" to 2.5" CAL 12' to 16' TALL
	IG	x CUPRESSOCYPARIS LEYLANDII	LELAND CYPRESS	4' - 5'
	VA	VARIOUS SHRUBS	AZALEAS HOSTA WINTER BERRY HYDRANGEA RHODODENDRON	2 GALLON
		VARIOUS PERENNIAL FLOWERS	DAY LILY NEW ENGLAND ASTER BLAZING STAR CARDINAL FLOWER	

\* HEIGHT BASED ON AVERAGE HEIGHT RANGE PRESENTED IN AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)

09/13/2022

0 FOREST STREET  
MAP 49, BLOCK 62, LOT 7-R  
CARVER, MA

LANDSCAPING & TRAFFIC PLAN

LTC1.1

DESIGNED BY: HRR

CHECKED BY: RSR

APPROVED BY: RSR

DATE: JUNE 9, 2022

PROJECT NO. 00488-01-01

SCALE: AS SHOWN

COMMERCIAL DEVELOPMENT

0 FOREST STREET  
MAP 49, BLOCK 62, LOT 7-R  
CARVER, MA

LANDSCAPING & TRAFFIC PLAN

09/13/2022

PRIOLO CONCRETE FORMS, INC.  
233 PEMBROKE STREET  
KINGSTON, MA 02364

REV

DATE

DESCRIPTION

BY

APP.

2

9/13/22

FUSS & O'NEILL COMMENTS

RSR

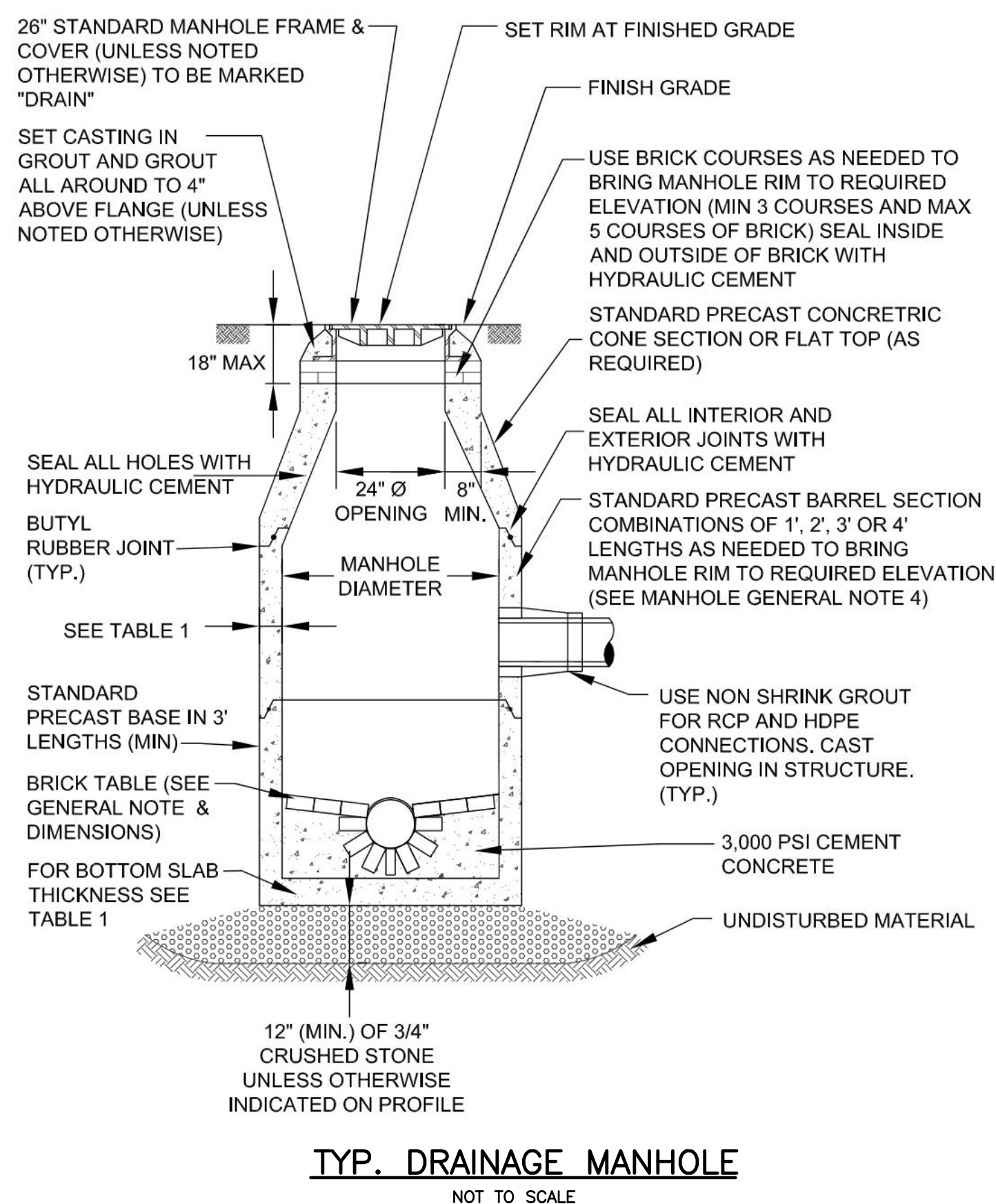
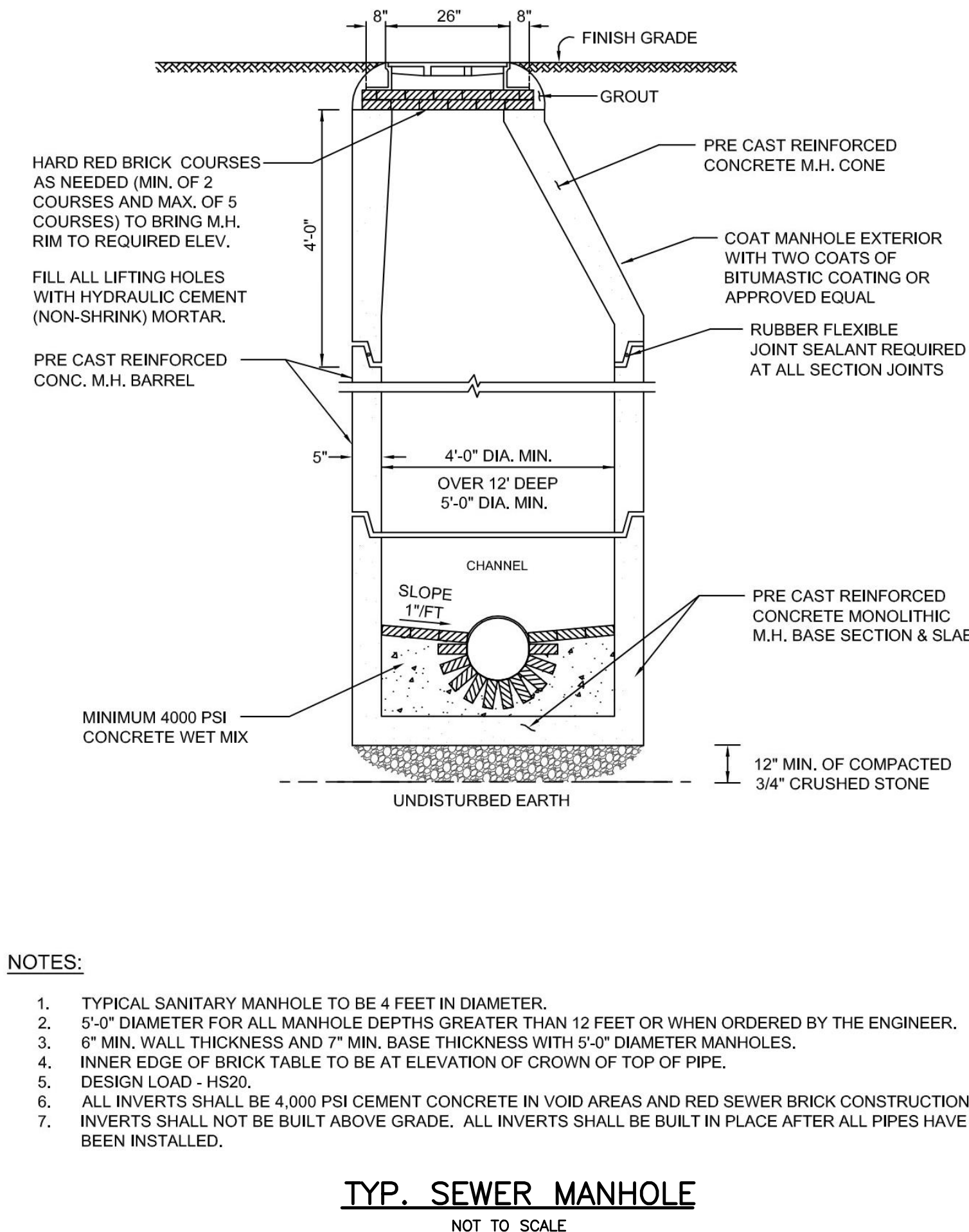
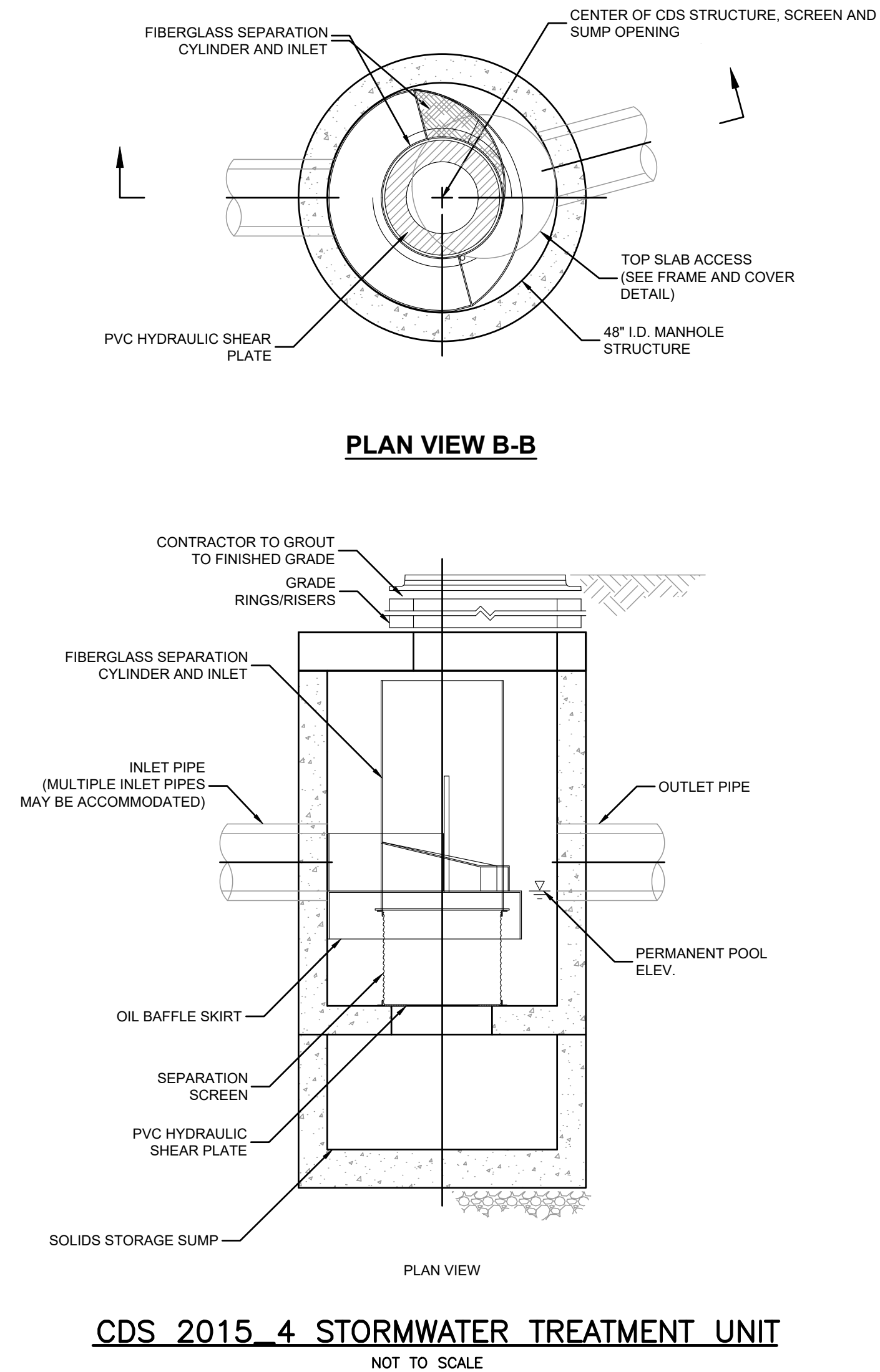
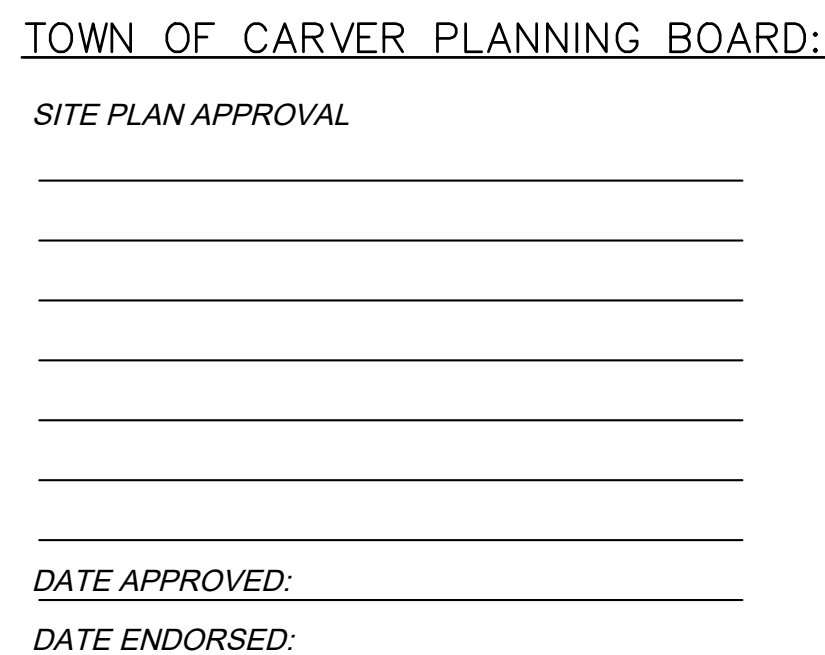
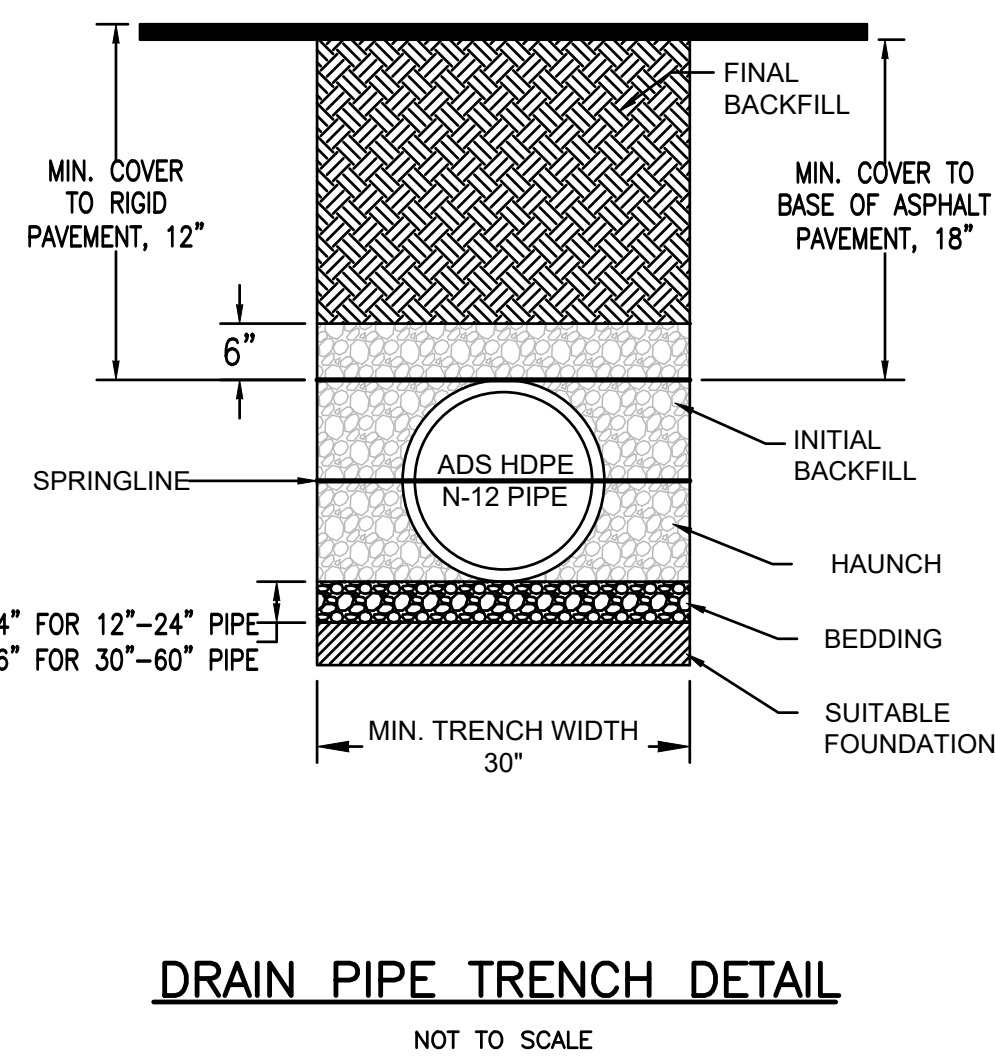
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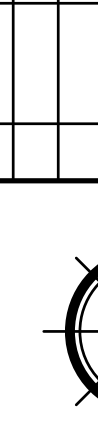
8/2/22

PLANNING BOARD COMMENTS

RSR





COMMERCIAL DEVELOPMENT 0 FOREST STREET MAP 49, BLOCK 62, LOT 7-R, CARVER, MA										RiverHawk ENVIRONMENTAL CIVIL ENGINEERING & ENVIRONMENTAL ASSESSMENT 2183 OCEAN STREET, MARSHFIELD, MA 02050 781-556-4659 www.RiverHawkLLC.com										08/03/2022 										PRIOLO CONCRETE FORMS, INC. 233 PEMBROKE STREET KINGSTON, MA 02364																													
DETAILS - 1										PROJECT NO. 00488-01-01 DATE: JUNE 8, 2022										SCALE: AS SHOWN										DRAWN BY: HRR CHECKED BY: RSR DESIGNED BY: RSR APPROVED BY: RSR WPK										REV. 1 8/22 PLANNING BOARD COMMENTS RSR RSR										BY APP. DESCRIPTION DATE									

D1.1





- \* GROUNDWATER WAS NOT OBSERVED IN ANY OF THE TEST PITS



PRIOLO CONCRETE FORMS, INC  
233 PEMBROKE STREET  
KINGSTON, MA 02364



**COMMERCIAL DEVELOPMENT**  
0 FOREST STREET  
MAP 49, BLOCK 62, LOT 7-R,  
CARVER, MA

## DETAILS - 2

## D1.2







